

**AGENDA**  
**Planning Commission**  
**In-Person / Electronic Meeting**

**New Brighton City Hall; 803 Old Hwy 8 NW**  
**Upper Level Conference Room and via Zoom**  
**September 20, 2022 | 6:30 p.m.**

- **Attend the meeting in Person:** Members of the public and the Planning Commission may attend the meeting in person. Attendees required to wear masks and comply with social distancing parameters regardless of vaccination status.
- **Watch the meeting electronically:** To observe the meeting electronically, visit [the City website](#) or tune into CTV Channel 8023 (CenturyLink) or Channel 16 (Comcast).
- **Join the meeting electronically:** Members of the Planning Commission may attend the meeting remotely pursuant to MN Statutes 13D.021. If you need to interact with our public officials or staff but are not comfortable or able to attend the meeting in person, please join the meeting electronically by clicking (no app needed): <https://us02web.zoom.us/j/89862402361?pwd=MWtPeIRNTGt2RmR2TktwSkM0R1VHdz09> (no app needed) or use your Zoom app to join by entering: Meeting ID: 898 6240 2361 and Passcode: 867530.

**I. Call to Order**

**II. Roll Call\***

- |                               |                              |
|-------------------------------|------------------------------|
| ▪ Chair Todd Biedenfeld       | ▪ Commissioner Tim McQuillan |
| ▪ Vice Chair Jeanne Frischman | ▪ Commissioner Eric Nelsen   |
| ▪ Commissioner Liza Allen     | ▪ <vacant position>          |
| ▪ Commissioner Youssef Enanaa |                              |

**III. Approval of Agenda**

**IV. Approval of the May 17, 2022 Minutes**

**V. Report from City Council Liaison**

\* A quorum of the City Council may be present.



## **VI. Public Hearings**

- 1. Preliminary Plat, Final Plat, and Variance Requests:** Request from Jacob Pletscher to subdivide the property at 546 Old Highway 8 SW (PID 32-30-23-31-0086) into two parcels. Specific requests to be reviewed include a Preliminary Plat, Final Plat, and variances from the lot width requirement for each lot.

## **VII. Business Items**

- 1. Site Plan Review:** Pletchers' Greenhouse Addition at 641 Old Highway 8 – PID 32-30-23-43-0014

## **VIII. Adjournment**





**MINUTES  
PLANNING COMMISSION  
May 17, 2022 City Hall  
Council Chambers 6:30 p.m.**

**I. Call to Order**

The hybrid meeting was called to order at 6:30 p.m.

**II. Roll Call**

Members Present.....Commissioners Liza Allen (attending remotely), Todd Biedenfeld (attending remotely), Youssef Enanaa, Jeanne Frischman, and Tim McQuillan

Members Absent.....Commissioner Eric Nelsen

Also Present .....Ben Gozola – Assistant Director of Community Assets and Development; Jennifer Fink – Parks and Recreation Director, and Abdullahi Abdulle-Councilmember (attending remotely)

**III. Approval of Agenda**

**Motion by Commissioner McQuillan, seconded by Commissioner Enanaa, to approve the May 17, 2022 agenda as presented.**

**Approved 5-0.**

**IV. Approval of Minutes**

**Minutes from April 19, 2022**

**Motion by Commissioner McQuillan, seconded by Commissioner Enanaa, to approve the April 19, 2022 meeting minutes as presented.**

**Approved 5-0.**



## V. Report from City Council Liaison

Councilmember Abdulle provided the Commission with an update from the City Council. He discussed the sustainability and environmental initiatives the Council has been pursuing, such as No Mow May. He reported lowering the speed limits was being considered by the Public Safety Commission. He commented on the bonus that would be paid by the State to front line workers as a thank you for working through the COVID-19 pandemic.

Commissioner Frischman thanked the City Council for providing the Planning Commissioners with weekly updates.

## VI. Public Hearing

**(A) Preliminary Plat, Final Plat, SUP, and Variance Requests: Request from the Donatelle Family Limited Partnership, LLLP, to subdivide the property at 401 CR E2 (PID 29-30-23-41-0026) into two parcels to place each of the existing buildings on their own site. Specific requests to be reviewed include a Preliminary Plat, Final Plat, an SUP to allow an undefined use in one of the buildings, and one floor area ratio (FAR) variance.**

Assistant Director of Community Assets and Development Gozola reported the Donatelle Family Limited Partnership LLLP is seeking to divest from its property at 401 County Road E2 which presently houses two manufacturing buildings constructed by Donatelle in the 1980s. The prospective buyers would each like to own individual buildings on individual parcels, so this application seeks approval of multiple requests to facilitate the desired subdivision. Staff provided further comment on the request and recommended approval of the Preliminary Plat, Final Plat, SUP and Variance requests, based on the findings of fact and subject to the following conditions:

1. Prior to any new business starting operations on Lots 1 and 2, the following issues shall be addressed via easements, declarations, covenants, or other appropriate mechanism acceptable to the City Attorney. In all cases, the solution shall be applicable to future owners of either Lot:
  - a. An access easement (or equivalent) providing legal rights for traffic to & from both lots to drive on either lot and access either lot from the three existing access points.
  - b. A joint-maintenance agreement (or equivalent) for the site to ensure parking lot maintenance, plowing, lawn & landscaping care, and storm water pond maintenance costs will always be covered as such needs arise.
  - c. An easement (or equivalent) dedicating at least nine (9) parking spaces on Lot 2 for use by Lot 1.
  - d. A declaration (or equivalent) binding both properties to enter into a storm water management contract with a 3rd party contractor for the ongoing maintenance and operation of the storm water pond.
  - e. A deed restriction (or equivalent) to restrict building expansion on either lot.



- f. Any other easements or mechanisms deemed necessary by the City Attorney to ensure owners of both buildings, regardless of who they are, will continue to operate in harmony on this site.
2. The applicants shall apply for and secure all required outside agency permits prior to businesses beginning operations on either of the new lots.
3. Due to the site's proximity to nearby residential homes, sign types historically prohibited by Special Use Permit on this site (illuminated signs and luminous letter signs) shall continue to be prohibited on both Lots 1 & 2. New signs shall be backlit or illuminated in a manner where the light source is not detectible, and must be permitted through the City's standard sign permitting process.
4. The three (3) parking spaces slightly impacted by anticipated truck turning movements on Lot 1 shall be marked and signed as "Compact Only" spaces.
5. The two parking spaces bisected by truck turning movements on Lot 2 shall be stripped as a no parking area.
6. The two (2) parking spaces slightly impacted by anticipated truck turning movements on Lot 2 shall be marked and signed as "Compact Only" spaces.
7. All parking lot stripping shall be refreshed and maintained as needed to ensure defined parking spaces are always clearly visible.
8. A fire protection engineer shall be hired to determine fire suppression needs within each of the existing buildings given the change in use, activities, and storage within each building. The Fire Marshall shall verify any/all required improvements are in place prior to any new business starting operations on Lots 1 and 2.
9. If not currently present, Knox boxes shall be installed on both buildings.
10. Reference monuments shall be placed in the subdivision as required by state law.
11. Specific to the SUP authorizing the Recycling Center Use on Lot 2:
  - a. Following initial approval of the fire suppression systems for the recycling use, any subsequent changes in materials being stored, processed, or recycled shall be reviewed by a fire protection engineer to ensure no changes to the fire suppression system are needed. All such updates/changes shall be communicated to the Fire Marshall.
  - b. Materials stored within the building on Lot 2 shall at no times trigger nuisance violations including but not limited to odor, dust, or smoke.
  - c. Activities and/or processing occurring within the building on Lot 2 shall at no times trigger nuisance violations including but not limited to noise or vibrations.
  - d. Outdoor storage of materials is prohibited.



Chair Biedenfeld asked if on street parking would be allowed in this area. Assistant Director of Community Assets and Development Gozola explained this would be a concern for the City and noted staff has been working with the applicant to find a parking solution. He explained the applicant had achieved the City's parking requirements.

Commissioner Frischman questioned how big the retail area would be. Assistant Director of Community Assets and Development Gozola stated the retail area would be 2,800 square feet in size.

Pete Mock, Paddle North, explained he was interested in Building 1. He discussed how he would be renovating the building to make an entrance on the north side.

Commissioner Frischman inquired if the nine parking spaces would be adequate.

Katie Johnson, Donatelle representative, discussed the nine parking spaces and easement, noting the parties have agreed to the concept and Paddle North would be responsible for installing signage. She indicated Paddle North would not have a constant flow of traffic, but rather would have people coming in to pick up merchandise sporadically.

Josh Peterson, Vandalay Industries, stated his business would not be utilized after normal business hours (7:00 a.m. to 7:00 p.m. Monday through Friday), which meant Paddle North could use his parking spaces in the evening hours and on weekends.

Commissioner Enanaa requested further information regarding the site signage. Assistant Director of Community Assets and Development Gozola discussed the signage proposed for the site noting the final details would be worked out with staff.

The Public Hearing was opened at 7:10 p.m.

Commissioner McQuillan asked what type of recycling activities would be conducted by Vandalay Industries. Mr. Peterson explained he works mostly with papers and plastics. He stated he aggregates materials and ships them out for reuse.

Commissioner McQuillan indicated he was concerned about the lack of information available regarding what would be done on the Vandalay property and what types of recycling material would be stored on this property. Mr. Peterson reported the conditions of staff would ensure the property remained in compliance with City Code. Ms. Johnson described how the proposed use was aligned with the warehousing use. She appreciated the concerns that were raised by Commissioner McQuillan but explained that the recycling industry was ever changing.

Commissioner Frischman questioned if the City has ever done a fire marshal review of other properties. Assistant Director of Community Assets and Development Gozola noted this was not always a requirement, but staff recommended the Vandalay property have monthly inspections from the fire marshal because the material being stored onsite would be ever changing.



**Motion by Commissioner Biedenfeld, seconded by Commissioner McQuillan to close the Public Hearing.**

**Approved 7-0.**

The public hearing was closed at 7:21 p.m.

Commissioner Biedenfeld thanked staff for the detailed list of conditions for this request.

Commissioner McQuillan thanked Donatelle's for facilitating discussions between these two users.

Commissioner Frischman discussed the easement that was in place for the nine parking spaces. She recommended signage be required for these nine spaces.

Commissioner McQuillan supported this recommendation and suggested Condition 1C be amended to include this language.

Commissioner Frischman indicated a shared parking agreement would be in place for this property, along with a land maintenance and stormwater management agreements. Assistant Director of Community Assets and Development Gozola reported this was the case.

**Motion by Commissioner McQuillan, seconded by Commissioner Allen to recommend the City Council approve the proposed Preliminary Plat, Final Plat, SUP and Variance Request based on the findings of fact and conditions listed within the staff report as amended.**

**Approved 5-0.**

**VII. Business Items**

**(A) Site Plan Review: Sunny Square Park Improvements.**

Assistant Director of Community Assets and Development Gozola reported the City of New Brighton is seeking authorization to rehabilitate facilities at Sunny Square Park in accordance with the recently approved 2040 Park & Trail System Master Plan. Staff provided further comment on the proposed park improvements and recommended approval of the Site Plan based on the findings of fact with the following conditions:

1. Parks Department staff shall continue to review any updates as they occur. Major changes (i.e. significant changes to design, setback impacts, etc.) will be brought back through the process while minor changes will be reviewed and approved administratively.
2. Public safety shall continue to review updates as they occur, and may direct plan updates to deal with safety concerns as plans are finalized.
3. Building materials shall be in line with those anticipated and required by code.



4. All lighting shall be directed downward and installed so as to prevent direct light from being detectable at the lot line; lighting is also not to shine directly into the public right-of-way or adjacent residences.
5. The applicants shall obtain authorization from the RCWD for their site plan and the proposed improvements.
6. Signage updates shall be reviewed and approved through the City's standard sign permit process.

Commissioner McQuillan noted he sat on the steering committee for the park master plan. He explained he appreciated the proposed plans for Sunny Square Park. He congratulated staff and the Park and Recreation Commission for coming up with these plans.

Commissioner Biedenfeld asked if there was any netting planned behind the backstop of the ballfield so as not to disrupt the adjacent homes. Parks and Recreation Director explained the ballfield would remain in the same area and fencing would be added in the backside. She commented further on the changes that were being proposed for the park shelter stating construction would take place August through November of this year.

Commissioner McQuillan questioned if this ballfield would be used for baseball or softball. Parks and Recreation Director noted there would be multiple posts for bases so the field could be used for both baseball and softball.

Commissioner Biedenfeld stated he fully supported the proposed park improvements noting this would be a huge upgrade for the City.

Commissioner Frischman inquired if the hockey rinks would still continue at this park. Parks and Recreation Fink explained Sunny Square Park was popular for skating and stated the park would have a lit pleasure rink going forward.

**Motion by Commissioner Biedenfeld, seconded by Commissioner McQuillan to recommend the City Council approve the proposed site plan based on the findings of fact and conditions listed within the staff report as may have been amended.**

**Approved 5-0.**

#### **VIII. Adjournment**


**Motion by Commissioner McQuillan, seconded by Commissioner Enanaa to adjourn the meeting.**

**Approved 5-0.**

**Meeting adjourned at 7:48 PM**



Respectfully submitted,

A handwritten signature in black ink, appearing to read "Ben Gozola". The signature is fluid and cursive, with the first name "Ben" and last name "Gozola" clearly distinguishable.

Ben Gozola

Assistant Director of Community Assets and Development



<b>Agenda Section:</b>	<b>VI</b>
<b>Item:</b>	<b>1</b>
<b>Report Date:</b>	<b>9/13/22</b>
<b>Commission Meeting Date:</b>	<b>9/20/22</b>

## REQUEST FOR COMMISISON CONSIDERATION

<b>ITEM DESCRIPTION: Preliminary Plat, Final Plat, and Variance Requests:</b> Request from Jacob Pletscher to subdivide the property at 546 Old Highway 8 SW (PID 32-30-23-31-0086) into two parcels. Specific requests to be reviewed include a Preliminary Plat, Final Plat, and variances from the lot width requirement for each lot
<b>DEPARTMENT HEAD'S APPROVAL:</b>
<b>CITY MANAGER'S APPROVAL:</b>
<b>No comments to supplement this report</b> ____ <b>Comments attached</b> ____

**15.99 Deadline:** 10/18/22

- Recommendations:**
- Staff believes all requests can be approved with conditions.
  - Template motions, recommended findings, and suggested conditions can be found on pages 13 – 16.

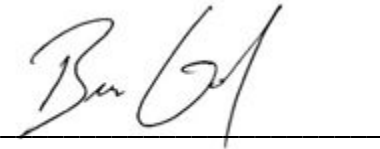
- Legislative History:**
- Existing home constructed in 1953
  - Pletscher acquires the property in 2018
  - Application to subdivide received on 8/19/22.

- Financial Impact:**
- None

**Summary:** Jacob Pletscher is seeking authorization to subdivide his property at 546 Old Highway 8 into two parcels. Each parcel will need a 10' variance from the R-2 lot width requirement at the building setback. The existing home will remain on proposed Lot 2 in conformance with code requirements, and proposed Lot 1 will become a vacant lot eligible for construction of a single family or duplex home.



- Attachments:**
- 1) *Staff Report*
  - 2) *Engineers Memo*
  - 3) *Draft Resolution*
  - 4) *City Maps*
  - 5) *Site Plan & Project plans*

A handwritten signature in black ink, appearing to read "Ben Gozola", written over a horizontal line.

Ben Gozola, AICP

*Assistant Director of Community Assets and Development*



*To:* **Planning Commission**

*From:* Ben Gozola, Assistant Director DCAD

*Meeting Date:* **9-20-22**

*Applicants:* **Jacob Pletscher**

*Main Contact:* <same>

*Location:* 546 Old Highway 8 SW

*Zoning:* **R-2**

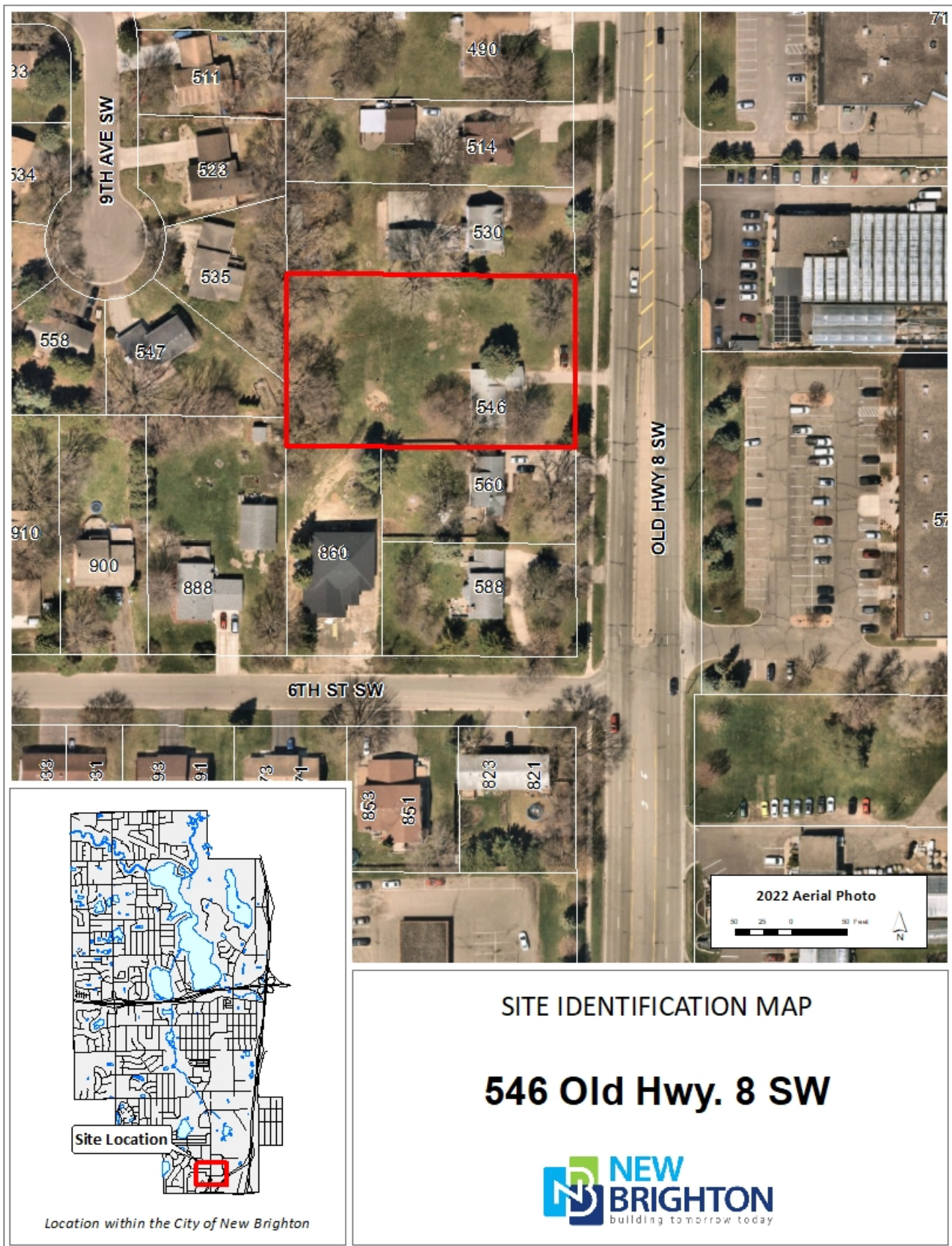
### ***Introductory Information***

- |                        |  |
|------------------------|--|
| <b><i>Project:</i></b> | <ul style="list-style-type: none"><li>▪ Jacob Pletscher is seeking authorization to subdivide his property at 546 Old Highway 8 into two parcels. Each parcel will need a variance from the lot width requirement of the R-2 district. The existing home will remain on proposed Lot 2 in conformance with code requirements, and proposed Lot 1 will become a vacant lot eligible for construction of a single family or duplex home.</li></ul> |
| <b><i>History:</i></b> | <ul style="list-style-type: none"><li>▪ Existing home constructed in 1953</li><li>▪ Pletscher acquires the property in 2018</li><li>▪ Application to subdivide received on 8/19/22</li></ul>   |

### ***General Findings***

- |                                   |   |
|-----------------------------------|---|
| <b><i>Site Data:</i></b>          | <ul style="list-style-type: none"><li>▪ Land Area <math>\approx</math> 0.88 acres (38,250 sq ft)</li><li>▪ Existing Use – one single family home</li><li>▪ Existing Zoning – R-2</li><li>▪ Property Identification Number (PID): 32-30-23-31-0086</li></ul> |
| <b><i>Comp Plan Guidance:</i></b> | <ul style="list-style-type: none"><li>▪ The new 2040 Comprehensive Plan guides this property for “Medium Density Residential.”</li></ul>  |







<b>Notable Code Definitions:</b>	<ul style="list-style-type: none"> <li>▪ <b>Boundary Lines.</b> Any line indicating the bounds or limits of any tract or parcel of land. Also, a line separating the various use districts as shown on the City’s zoning map.</li> <li>▪ <b>Building.</b> Any structure for the shelter, support or enclosure of persons, animals, chattel, or property of any kind affixed to the land.</li> <li>▪ <b>Preliminary Plat.</b> The proposed plat map, drawing, or chart indicating the proposed layout of the subdivision or consolidation to be submitted to the Planning Commission and City Council for their consideration as to compliance with the Comprehensive Plan and these regulations, along with required supporting data.</li> <li>▪ <b>Setback.</b> The minimum horizontal distance from a building, structure, fence, or parking lot to a lot line.</li> <li>▪ <b>Subdivision.</b> A parcel of land divided into smaller parts such as blocks or lots, or a tract of land which is re-divided after the first division.</li> </ul>
<b>Primary Applicable Codes:</b>	<ul style="list-style-type: none"> <li>▪ <b>Chapter 26, Article 1, <u>General Conditions</u></b>                      Outlines minimum standards to follow when creating new lots.</li> <li>▪ <b>Chapter 26, Article 2, <u>Preliminary Plat</u></b>                      Outlines the required process to follow to gain approval of a proposed subdivision concept.</li> <li>▪ <b>Chapter 26, Article 3, <u>Final Plat</u></b>                      Outlines the required process to finalize an approved preliminary plat for filing at the County.</li> <li>▪ <b>Zoning Chapter 4, Article 3, <u>R-2 District.</u></b>                      Outlines minimum standards for R-2 zoned lots within the City.</li> </ul>
<b>Specific Applications:</b>	<p>Multiple application types are reviewed herein which are all necessary to complete the requested subdivision:</p> <ul style="list-style-type: none"> <li>▪ <b>Preliminary Plat &amp; Final Plat</b> (being reviewed concurrently.</li> <li>▪ <b>Variance</b> from minimum lot widths for both lots.</li> </ul>
<b>Applicant’s Narratives:</b>	<no narrative provided>



## PRELIMINARY Plat Review

### IN GENERAL:

#### **Land Area:**

- The gross acreage proposed to be developed is 0.88 acres (38,250 sq ft)
  - All land is proposed to be used to create two lots; Lot 1 will be vacant and eligible for construction of a single family or duplex home, and Lot 2 will contain the existing home.
  - Minimum R-2 lot standards are as follows:

<b>Lot</b>	<b>Area (sq ft)</b>	<b>Width at street (ft)</b>	<b>Width at setback (ft)</b>
<b>REQUIRED</b>	12,500	75'	85'
<b>1</b> (north)	19,125	75'	<b>75'</b>
<b>2</b> (south/existing home.)	19,125	75'	<b>75'</b>

The proposed lot widths at the front yard setback (75') will require a variance (see page 10).

- No land will be needed for additional ROW dedication, and no Outlots are proposed.

#### **Access:**

- Lot 1 will need a new access point onto Old Highway 8, and Lot 2 will retain the existing driveway. No issues have been identified by Ramsey County, and no other options for roadway access are available.
- If a duplex is eventually built on Lot 1, both units shall share a single access point onto Old Highway 8 via a shared driveway setup.

#### **Building Locations:**

- The existing home will remain conforming to all setbacks on Lot 2.
- Proposed Lot 1 will have ample room for one additional home after consideration of required setbacks.

#### **Building Heights:**

- The existing home is conforming to the maximum building height in the R-2 district (2.5 stories or 30 feet, whichever is higher).
- The future home on Lot 1 will need to conform to maximum height standards.



**Floor Area Ratio:**

- Per Section 4-240(5), floor area ratio in the R-2 district shall not exceed 0.4
- The existing home on Lot 2 will be conforming to the FAR requirement:

<u>Lot</u>	<u>Lot Area</u>	<u>Total Building Square Footage</u>	<u>Maximum Building Square Footage (0.4 FAR)</u>
<b>LOT 2</b>	19,125 sq ft	1,466 sq ft	7,650

- The future home on Lot 1 will need to also conform to FAR standards.

**Building Materials:**

- New construction will need to adhere to any building materials requirements in place at the time of permit review.

**Future parcel development:**

- The proposed plat would fully divide the land. No further development could occur.

**Adjacent parcel dev:**

- The proposed subdivision will not have any impact on development of adjacent lands.

**Easements:**

- Drainage and utility easements (or others), as required by the City Engineer, shall be provided on the final plat.
- The final plat must be updated to show required drainage and utility easements prior to the City signing the final mylars.

**Resident Concerns & Feedback:**

- As of 9/13/22 (report completion date), no comments for or against this proposal have been received.

**INFRASTRUCTURE:**

**In General:**

- All public improvements constructed to support the development must be designed and constructed in accordance with the City's Private Development Standards. City Engineer review of all proposed infrastructure is covered herein.
- The City and Ramsey County are proposing improvements to Old Highway 8 in 2023. To avoid future excavations within the new street section, staff requests that the owner coordinate the installation of new sewer and water services to Lot 1 with the proposed Old Highway 8 construction project. If agreeable, this work can be completed by the City's contractor and the associated costs assessed to the owner



***Streets and  
Transportation:***

- No new streets are proposed as part of this subdivision, and no additional ROW dedications are needed for Old Highway 8.
- A curb cut permit will be required for any proposed driveway to Lot 1. The City and Ramsey County are proposing improvements to Old Highway 8 in 2023. Any curb and gutter modifications should be coordinated with the City during those improvements

***Water  
System(s):***

- As a condition of approval, Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.
- Main highlights:
  - Lot 1 will receive a WAC fee during the building permit process for connection of a new water service.
  - Staff has reviewed our records and it appears that there is no water service provided to Lot 1.

***Sanitary  
System(s):***

- As a condition of approval, Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.
- Main highlights:
  - Lot 1 will receive a SAC fee during the building permit process for connection of a new sanitary sewer service.
  - Staff has reviewed sewer televising records and determined that there is a capped sewer wye to the proposed Lot 1.

***Storm water /  
Grading /  
Erosion:***

- As a condition of approval, Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.
- Main highlights:
  - A site grading plan will be required as part of the building permit process. The applicant is advised to consider revising site grades to create a drainage swale and emergency overflow ( $\pm 930.00$ ) along the south property line of proposed Lot 1. DCAD staff shall have the authority to approve or deny the final drainage solution between the proposed lots.
  - Future building plans for Lot 1 shall include lowest opening elevations for the proposed structure(s). A low floor opening elevation of 931.50 or above is recommended.
  - Additional site grading on Lot 2 should be strongly considered to provide additional protection to the lowest opening of the existing house.



<i>(cont.)</i>	<ul style="list-style-type: none"> <li>As is typical with most construction sites, vehicle tracking of dirt into the ROW (Old 8) is likely. Such tracking of dirt into the street shall be monitored and addressed in a timely manner, or the developer must agree to paying for street sweeping services when directed to do so by the City.</li> </ul>
<b><i>Development Phasing:</i></b>	<ul style="list-style-type: none"> <li>The development would all be completed in a single phase.</li> </ul>
<b><i>Utilities:</i></b>	<ul style="list-style-type: none"> <li>All utilities (i.e. telephone, electric, gas service lines, etc) are to be placed underground in accordance with the provisions of all applicable City ordinances.</li> </ul>
<b><i>Lighting:</i></b>	<ul style="list-style-type: none"> <li>Lighting on either lot shall be directed downward, and installed so as to prevent direct light from being detectable at the lot line of the site on which the source is located. Lighting for each home site will be reviewed with individual building permit applications.</li> <li>Lighting shall not shine directly into the public right-of-way or onto any adjacent residential lot.</li> </ul>
<b><i>Parking:</i></b>	<ul style="list-style-type: none"> <li>As required by code, Lot 1 will need to accommodate a minimum of two (2.0) parking spaces outside of the right-of-way. No issues are anticipated.</li> </ul>
<b><i>Required Signage:</i></b>	<ul style="list-style-type: none"> <li>No new signage is needed as a result of this subdivision.</li> <li>Any future signage on any of the proposed lots will need to adhere to standards for lots in the R-1 zoning district.</li> </ul>
<b><i>Fire Hydrants / Fire Safety:</i></b>	<ul style="list-style-type: none"> <li>No new fire hydrants are needed to serve these lots.</li> </ul>
<b><i>Streetlights:</i></b>	<ul style="list-style-type: none"> <li>No streetlight additions will be required as part of this subdivision.</li> </ul>
<b><i>Sidewalks:</i></b>	<ul style="list-style-type: none"> <li>There is existing sidewalk along Old 8 on this side of the highway already. No additional sidewalk will be needed as part of this subdivision.</li> </ul>
<b><i>Landscaping / Fencing:</i></b>	<ul style="list-style-type: none"> <li>As this is a standard R-1 subdivision and not a PRD or PUD, there are no requirements for mandatory landscaping or fencing on these new lots.</li> </ul>



- Monuments:** | ▪ Reference monuments shall be placed in the subdivision as required by state law.

## ENVIRONMENTAL & OTHER NEIGHBORHOOD IMPACTS:

- Environmental Impacts:** | ▪ By state statute, an Environmental Assessment Worksheet (EAW) is required for subdivisions resulting in **250** or more new unattached single-family dwelling units. With only one (1) new lot proposed by Pletschers Addition, an EAW is not required.

- Wetlands:** | ▪ There are no suspected wetlands on this site.

- Tree Removal:** | ▪ Per Subdivision Section 26-11(5) **Natural Features**. *“In the subdividing of any land, regard shall be shown for all natural features such as tree growth, water courses, historic spots, or similar conditions which if preserved will add attractiveness and stability to the proposed development.”*
- Proposed Lot 1 has ample space for construction of a new home with limited to no tree removal required. Tree removal, if needed, will likely be related to site grading necessary to address long-standing drainage concerns between these two lots.
- Removal of trees (if necessary) should be done at the appropriate time of year to avoid the potential spread of disease for the species in question (primarily only a concern if Oak trees are present)

- Shoreland District:** | ▪ The subject property is not in the shoreland district.

- Traffic:** | ▪ Traffic studies are typically required when overall development triggers the need for a formal environmental review (EAW, EIS, or AUAR), or when a large number of units are proposed in a multi-family building and there is ample reason to believe the resulting traffic could have negative impacts on nearby residential lands. The addition of a single new lot along Old Highway 8 does not trigger the need for a formal traffic study.

- Public Safety:** | ▪ The addition of one new home in this area of the community will have no impact on the City’s ability to provide emergency services throughout the community, to this neighborhood, or to these lots in particular.
- Final buildings shall comply with all applicable zoning, building, and fire codes.
- All construction times and activities shall comply with New Brighton City Code especially relating to parking and hours of work.



***Flood Plain &  
Steep Slopes:***

- There are no flood plains or steep slopes on this site.

***Docks:***

- The project does not include any frontage on open water nor easement rights to such.

***Other Permits:***

- All necessary permits must be provided to the City. (RCWD, NPDES, MDH, etc. as may be applicable).
- Per the RCWD no permit or Notice of Intent will be required for this subdivision as: a) the parcel being subdivided is under one acre, b) there are no floodplain or wetland concerns, and c) there is no proposed land disturbance or new and/or reconstructed impervious surface planned with this project.
- Prior to initiating future construction activities, the applicant shall confirm with the RCWD that no permit is still needed based on any factors that were unknown at the time of this plat review (i.e. engineering ultimately requires regrading of the rear yards to address drainage concerns). If a permit is needed at that time, it must be acquired by the applicant prior to the building permit being issued.

**CHARGES, FEES, & RESPONSIBILITIES:**

***Park  
Dedication:***

- The City's recently approved **2040 Parks and Trail System Plan** establishes the goals and objectives of the City's park system for the next twenty years. Per this plan, no new parks are needed in this area of the City.
- With no park land needed, cash in lieu of land will satisfy the required park dedication for this subdivision. Per the 2022 fee schedule, a fee of \$1,825 per new dwelling unit will be required by this subdivision. As the new R-2 lot can allow for up to two new dwelling units, the resulting fee will be \$3650.
- Park dedication shall be paid in full prior to the final plat being signed by the City.

***Sewer and  
Water Fees:***

- Local and regional sewer access/availability charges (SAC) and water access charges (WAC) will apply to the new lot.
- The City Sewer Maintenance fee of \$103 new SAC will also apply



## FINAL Plat Review

### In General:

- The final plat review typically focuses on adherence to conditions of preliminary plat approval and legal review of the plat to ensure it's ready for filing. As we are reviewing the Preliminary and Final concurrently with this application, we can only complete legal review of the plat at this time, and signature of the plat will be conditioned on all legal matters being resolved on the final mylars to the satisfaction of the City Attorney.
- At his earliest convenience, the applicant should have the final plat reviewed by Ramsey County for needed changes on their end.

### Legal Review:

- As of 9/12/22, the plat opinion from legal was still being finalized, so staff will verbally update the Commission on that front at the 9/20/22 meeting. As a condition of approval, the plat opinion will need to be completed (and legal requirements followed) prior to the mylars being created.

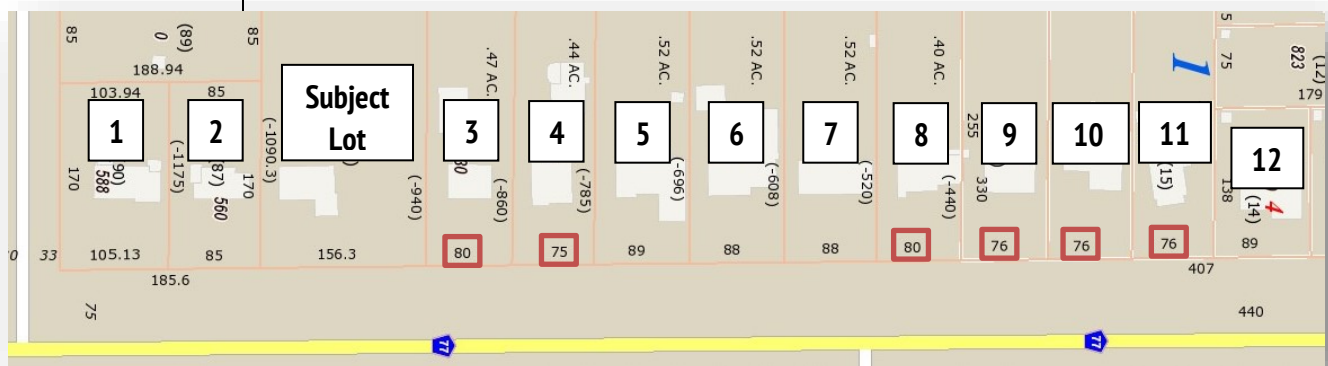
## Variance Review:

### Variance Request:

- Each of the proposed lots will be 75 feet wide. While this would make for conforming lots in the R-1 zoning district, the R-2 district technically requires an 85' lot width at the building setback line, so each lot will need a variance.
- **The applicant is requesting a 10' lot width variance for each lot.**

### Surrounding Area:

- Lot widths on this same block should be taken into consideration when reviewing this request. Of the 12 other lots along this stretch of Old Highway 8, half also do not meet the R-2 width requirement, and 2/3 of the nonconforming lots have widths comparable to what is proposed with this subdivision (75' wide lots).





**Criteria  
Analysis:**

**General Variance Standards**

**1) Is the variance in harmony with the general purpose and intent of the Zoning Code?**

Staff Analysis: The proposed lots will be conforming to the lot width requirement at the right-of-way, but cannot meet the slightly increased lot width standard at the building setback for R-2 lots. While the underlying standard is sound (the greater width at the setback line is intended to allow for slightly wider building pads for potential duplex construction), it is clear based on the graphic above that half of the R-2 lots along Old 8 in this area are nonconforming to the same width requirement. As one goal of zoning is to create uniformity in lots within various areas of the City, allowing two more 75' wide lots in this R-2 area would not be out of character for the area. Furthermore, in both the R-1 and R-2 zoning districts, the required side yard setback is 5 feet, so the separation between homes in this area will look the same from the street regardless of whether the structures are single-family or duplex units. **Criterion met.**

**2) Is the variance consistent with the Comprehensive Plan?**

Staff Analysis: The comprehensive plan calls for medium density residential in this area, and the proposed lot widths would not preclude construction of a new duplex (at least two of the undersized lots along this stretch of Old 8 also have duplex units). As there is clearly enough land on this parcel to create two lots which share the same characteristics of many lots in the area, and because the subdivision will allow for the creation of additional housing called for by the Comprehensive Plan, we do find the variance is consistent with comp plan guidance. **Criterion met.**

**3) Has the applicant established that practical difficulties exist on the site?**

Applicant's Statement: no statement provided

**a. Does the applicant propose to use the property in a reasonable manner not permitted by the zoning ordinance?**

Staff Analysis: Given that the applicant is proposing to create the same sized lots as others that existing within this R-2 area long Old Highway 8, we do find the request to be reasonable. **Criterion met.**

**b. Is the plight of the landowner due to circumstances unique to this property that were not created by the landowner?**

Staff Analysis: The landowner did not create the original lot which appears to clearly be a double-sized lot along this stretch of Old Highway 8. **Criterion met.**



(cont.)

**c. Will the variance, if granted, alter the essential character of the locality?**

Staff Analysis: The two proposed lots will look nearly identical to all other lots in this R-2 area fronting Old Highway 8. There will be no change to the character of the area as a result of this proposed subdivision. **Criterion met.**

**4) Is the variance being sought solely to improve the value of the property?**

Staff Analysis: The variance is being sought to create an additional buildable parcel to allow for full utilization of the land. **Criterion met.**

**Staff Recommendation:** Based on the analysis of variance criteria above, staff is recommending approval of the requested width variances for each lot with conditions.

### Supplementary Information & Public Comment

**Additional  
Information:**

- None

**Planning  
Commission  
Review:**

- The Planning Commission will hold a public hearing on these requests at their 9/20/22 meeting.

### Conclusion:

Jacob Pletscher is seeking authorization to subdivide his property at 546 Old Highway 8 into two parcels. Each parcel will need a variance from the lot width requirement of the R-2 district. The existing home will remain on proposed Lot 2 in conformance with code requirements, and proposed Lot 1 will become a vacant lot eligible for construction of a single family or duplex home.

**Staff Recommendation:** Per the analysis outlined in the report, staff is recommending **APPROVAL** of the proposed applications subject to conditions.



<b>Commission Options:</b>	<p>The Planning Commission has the following options:</p> <ul style="list-style-type: none"> <li>A) RECOMMEND APPROVAL OF ALL REQUESTS based on the applicant's submittals and findings of fact.</li> <li>B) RECOMMEND DENIAL OF ONE OR MORE REQUESTS based on the applicant's submittals and findings of fact.</li> <li>C) TABLE THE ITEMS and request additional information.</li> </ul> <p>Based on a complete application date of 8/19/22, the statutory deadline for making a decision on these requests is 10/18/22. This deadline can be extended by an additional 60-days if deemed necessary by the City.</p>
<b>Template Denial Motion:</b> <i>(not recommended)</i>	<ul style="list-style-type: none"> <li>▪ "I move that we recommend the City Council deny [denote specific request or state all requests] based on the following findings of fact:" <ul style="list-style-type: none"> <li>○ <i>(You must provide findings to support the conclusion that each component recommended for denial does not meet minimum standards as required by code.)</i></li> </ul> </li> </ul>
<b>Template Approval Motion:</b> <b>RECOMMENDED</b>	<ul style="list-style-type: none"> <li>▪ "I move we recommend the City Council approve the requested preliminary plat, Pletschers Addition Final Plat, and lot width variances for the subdivision of land at 546 Old Highway 8 based on the findings of fact listed on pages 13 &amp; 14 of the report subject to the conditions listed on pages 14 – 16 as may have been amended here tonight."</li> </ul>
<b>Suggested Findings of Fact:</b>	<ol style="list-style-type: none"> <li>1. The subject property is guided for Medium Density use by the 2040 Comprehensive Plan, and R-2 zoning standards are consistent with this land use classification;</li> <li>2. The existing home will be conforming to setback requirements on Lot 2, and the buildable area on proposed Lot 1 will provide ample space for a new single family or duplex home to be built.</li> <li>3. Both lots will require a 10' width variance from the 85' width requirement at the building setback line. Specific findings supporting a variance for each lot include: <ol style="list-style-type: none"> <li>a. Half of the neighboring lots along Old Highway 8 are also nonconforming to the required lot width at the building setback line, so these proposed lots will not be out of character for lots in this area;</li> </ol> </li> </ol>



<i>(cont.)</i>	<ul style="list-style-type: none"> <li>b. The requested variances will allow for the creation of additional housing which is a goal of the new Comprehensive Plan;</li> <li>c. The requested width variances are reasonable as the applicant is not seeking to create lots different than existing lots in the area;</li> <li>d. The width of the existing lot is not due to previous actions of the owner;</li> <li>e. Granting of the variance will not alter the essential character of the locality;</li> <li>f. The variances are not being sought solely to improve the value of the property.</li> </ul> <ul style="list-style-type: none"> <li>4. Drainage and utility easements will be established as a result of this plat;</li> <li>5. Each of the proposed lots will have adequate access to the local roadway system;</li> <li>6. Each of the proposed lots can be adequately served by existing municipal services;</li> <li>7. No public safety concerns were identified;</li> <li>8. Identified impacts of the proposed development can be addressed via conditions.</li> </ul>
<b><i>Recommended Conditions:</i></b>	<ul style="list-style-type: none"> <li>1. Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.</li> <li>2. If a duplex is eventually built on Lot 1, both units shall share a single access point onto Old Highway 8 via a shared driveway setup.</li> <li>3. The final plat must be updated to show required drainage and utility easements prior to the City signing the final mylars.</li> <li>4. To avoid future excavations within the new street section of Old Highway 8, the owner shall coordinate the installation of new sewer and water services to Lot 1 with the proposed Old Highway 8 construction project in as much as possible.</li> <li>5. A curb cut permit will be required for any proposed driveway to Lot 1. Any curb and gutter modifications shall be coordinated with the City during the upcoming improvements to Old Highway 8.</li> </ul>



- (cont.)
6. Grading conditions:
    - a. A site grading plan shall be required as part of the building permit process. The applicant is advised to consider revising site grades to create a drainage swale and emergency overflow ( $\pm 930.00$ ) along the south property line of proposed Lot 1. DCAD staff shall have the authority to approve or deny the final drainage solution between Lots 1 & 2.
    - b. Future building plans for Lot 1 shall include lowest opening elevations for the proposed structure(s). A low floor opening elevation of 931.50 or above is recommended.
    - c. Additional site grading on Lot 2 should be strongly considered to provide additional protection to the lowest opening of the existing house.
    - d. Tracking of dirt into Old Highway 8 shall be monitored and addressed in a timely manner, or the developer must agree to paying for street sweeping services when directed to do so by the City.
  7. All utilities (i.e. telephone, electric, gas service lines, etc) are to be placed underground in accordance with the provisions of all applicable City ordinances.
  8. Lighting shall not shine directly into the public right-of-way or onto any adjacent residential lot.
  9. Reference monuments shall be placed in the subdivision as required by state law
  10. Prior to initiating future construction activities, the applicant shall confirm with the RCWD that no permit is still needed based on any factors that were unknown at the time of this plat review (i.e. engineering ultimately requires regrading of the rear yards to address drainage concerns). If a permit is needed at that time, it must be acquired by the applicant prior to the building permit being issued.
  11. The applicant shall have the final plat reviewed by Ramsey County for needed changes prior to production of final mylars for signature. Changes requested by Ramsey County can be administratively approved by staff.
  12. The applicant shall supply a title opinion to the City for legal review, and shall make any required updates to the Final Plat as required by the City Attorney to address legal concerns.



13. The applicant shall pay a park dedication fee of \$3650 to the City prior to the City signing the final plat.

*cc: Jake Pletscher, applicant*





# interoffice

## MEMORANDUM

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**to:** Ben Gozola, Assistant Director of Community Assets and Development  
**from:** Dustin Lind, Engineering Supervisor  
**subject:** Pletschers Addition  
**date:** September 12, 2022

The Engineering Department has reviewed the preliminary plat of Pletschers Addition and we offer the following comments:

### General

- 1) The City and Ramsey County are proposing improvements to Old Highway 8 in 2023. To avoid future excavations within the new street section, staff requests that the owner coordinate the installation of new sewer and water services to Lot 1 with the proposed Old Highway 8 construction project. If agreeable, this work can be completed by the City's contractor and the associated costs assessed to the owner.

### Street

- 2) A curb cut permit will be required for any proposed driveway to Lot 1. The City and Ramsey County are proposing improvements to Old Highway 8 in 2023. Any curb and gutter modifications should be coordinated with the City during those improvements.

### Sanitary Sewer

- 1) Lot 1 will receive a SAC fee during the building permit process for connection of a new sanitary sewer service.
- 2) Staff has reviewed sewer televising records and determined that there is a capped sewer wye to the proposed Lot 1.

### Watermain

- 3) Lot 1 will receive a WAC fee during the building permit process for connection of a new water service.



- 4) Staff has reviewed our records and it appears that there is no water service provided to Lot 1.

**Storm Sewer**

- 1) A site grading plan will be required as part of the building permit process. Consider revising site grades to create a drainage swale and emergency overflow ( $\pm 930.00$ ) along the south property line of proposed Lot 1.
- 2) Future building plans for Lot 1 to include lowest opening elevations. A minimum lowest opening elevation of 931.50 is recommended.
- 3) Additional site grading to Lot 2 should be considered to provide additional protection to the lowest opening of the existing house.



**RESOLUTION No. \_\_\_\_\_**  
**STATE OF MINNESOTA**  
**COUNTY OF RAMSEY**  
**CITY OF NEW BRIGHTON**

RESOLUTION MAKING FINDINGS OF FACT AND APPROVING A PRELIMINARY PLAT,  
FINAL PLAT, AND LOT WIDTH VARIANCES TO AUTHORIZE SUBDIVISION OF THE  
PROPERTY AT 546 OLD HIGHWAY 8 SW

**WHEREAS**, the City of New Brighton is a municipal corporation, organized and existing under the laws of the State of Minnesota; and,

**WHEREAS**, the City Council of the City of the New Brighton has adopted a comprehensive plan and corresponding zoning regulations to promote orderly development and utilization of land within the city; and,

**WHEREAS**, Jacob Pletscher (the “Applicant”) owns the land at 546 Old Highway 8 which is legally describe as:

All that part of the Northeast Quarter of the Southwest Quarter of Section 32, Township 30, Range 23, described as follows: Commencing at a point 940 feet South of the Northeast corner of said Northeast Quarter of the Southwest Quarter of Section 32, Township 30, Range 23, which point is the true point of beginning; thence at right angles West 330 feet; thence at right angles South 156.3 feet; thence at right angles East 330 feet; thence at right angles North 156.3 feet to the point of beginning, except that portion of the Easterly 75 feet heretofore taken for highway purposes, Ramsey County, Minnesota. EXCEPT that portion of the Northeast Quarter of the Southwest Quarter of Section 32, Township 30 North, Range 23 West, Ramsey County, Minnesota described more particularly as follows: Commencing at the East One Quarter Corner of said Section 32 then South 00 degrees 23 minutes 35 seconds East bearing based on the Ramsey County Coordinate System, a distance of 1090.00 feet along the Easterly line of the Northeast Quarter of the Southwest Quarter of said Section 32; thence South 89 degrees 36 minutes 25 seconds West a distance of 75.00 feet to the point of beginning; thence South 89 degrees 36 minutes 25 seconds West a distance of 255.00 feet; thence South 00 degrees 23 minutes 35 seconds East a distance of 6.30 feet parallel with the Easterly line of said Northeast Quarter of the Southwest Quarter, thence North 89 degrees 36 minutes 25 seconds East a distance of 255.00 feet to the Westerly right of way of Old Highway B; thence North 00 degrees 23 minutes 35 seconds West a distance of 6.30 feet to the point of beginning.

and

**WHEREAS**, the Applicant has made application to the City on 8/19/22 requesting approval of a Preliminary Plat, Final Plat, and lot width variances for the proposed subdivision of land at 546 Old Highway 8 which is legally describe as:

**WHEREAS**, staff fully reviewed the requests and prepared a report for consideration by the Planning Commission at their meeting on September 20, 2022; and

**WHEREAS**, the Planning Commission held a public hearing on the Preliminary Plat and variances at their meeting on September 20, 2022, and recommended approval of the requests based on the applicant’s submittals and findings of fact; and



**WHEREAS**, the City Council held a public hearing on the Final Plat at their meeting on September 27, 2022, and considered the recommendations of the Planning Commission, Staff, the Applicant's submissions, the contents of the staff report, and other evidence available to the Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of New Brighton hereby approves the requested Preliminary Plat, Final Plat, and lot width variances based on the following findings of fact:

1. *The subject property is guided for Medium Density use by the 2040 Comprehensive Plan, and R-2 zoning standards are consistent with this land use classification;*
2. *The existing home will be conforming to setback requirements on Lot 2, and the buildable area on proposed Lot 1 will provide ample space for a new single family or duplex home to be built.*
3. *Both lots will require a 10' width variance from the 85' width requirement at the building setback line. Specific findings supporting a variance for each lot include:*
  - a. *Half of the neighboring lots along Old Highway 8 are also nonconforming to the required lot width at the building setback line, so these proposed lots will not be out of character for lots in this area;*
  - b. *The requested variances will allow for the creation of additional housing which is a goal of the new Comprehensive Plan;*
  - c. *The requested width variances are reasonable as the applicant is not seeking to create lots different than existing lots in the area;*
  - d. *The width of the existing lot is not due to previous actions of the owner;*
  - e. *Granting of the variance will not alter the essential character of the locality;*
  - f. *The variances are not being sought solely to improve the value of the property.*
4. *Drainage and utility easements will be established as a result of this plat;*
5. *Each of the proposed lots will have adequate access to the local roadway system;*
6. *Each of the proposed lots can be adequately served by existing municipal services;*
7. *No public safety concerns were identified;*
8. *Identified impacts of the proposed development can be addressed via conditions.*

**BE IT FURTHER RESOLVED**, that approval of the Preliminary Plat, Final Plat, and lot width variances shall be subject to the following conditions:

1. *Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.*
2. *If a duplex is eventually built on Lot 1, both units shall share a single access point onto Old Highway 8 via a shared driveway setup.*



3. *The final plat must be updated to show required drainage and utility easements prior to the City signing the final mylars.*
4. *To avoid future excavations within the new street section of Old Highway 8, the owner shall coordinate the installation of new sewer and water services to Lot 1 with the proposed Old Highway 8 construction project in as much as possible.*
5. *A curb cut permit will be required for any proposed driveway to Lot 1. Any curb and gutter modifications shall be coordinated with the City during the upcoming improvements to Old Highway 8.*
6. *Grading conditions:*
  - a. *A site grading plan shall be required as part of the building permit process. The applicant is advised to consider revising site grades to create a drainage swale and emergency overflow ( $\pm 930.00$ ) along the south property line of proposed Lot 1. DCAD staff shall have the authority to approve or deny the final drainage solution between Lots 1 & 2.*
  - b. *Future building plans for Lot 1 shall include lowest opening elevations for the proposed structure(s). A low floor opening elevation of 931.50 or above is recommended.*
  - c. *Additional site grading on Lot 2 should be strongly considered to provide additional protection to the lowest opening of the existing house.*
  - d. *Tracking of dirt into Old Highway 8 shall be monitored and addressed in a timely manner, or the developer must agree to paying for street sweeping services when directed to do so by the City.*
7. *All utilities (i.e. telephone, electric, gas service lines, etc) are to be placed underground in accordance with the provisions of all applicable City ordinances.*
8. *Lighting shall not shine directly into the public right-of-way or onto any adjacent residential lot.*
9. *Reference monuments shall be placed in the subdivision as required by state law*
10. *Prior to initiating future construction activities, the applicant shall confirm with the RCWD that no permit is still needed based on any factors that were unknown at the time of this plat review (i.e. engineering ultimately requires regrading of the rear yards to address drainage concerns). If a permit is needed at that time, it must be acquired by the applicant prior to the building permit being issued.*
11. *The applicant shall have the final plat reviewed by Ramsey County for needed changes prior to production of final mylars for signature. Changes requested by Ramsey County can be administratively approved by staff.*



- 12. The applicant shall supply a title opinion to the City for legal review, and shall make any required updates to the Final Plat as required by the City Attorney to address legal concerns.*
- 13. The applicant shall pay a park dedication fee of \$3650 to the City prior to the City signing the final plat.*

**ADOPTED** this 27<sup>th</sup> day of September, 2022 by the New Brighton City Council with a vote of \_\_\_ ayes and \_\_\_ nays.

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Kari Niedfeldt-Thomas, Mayor

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Devin Massopust, City Manager

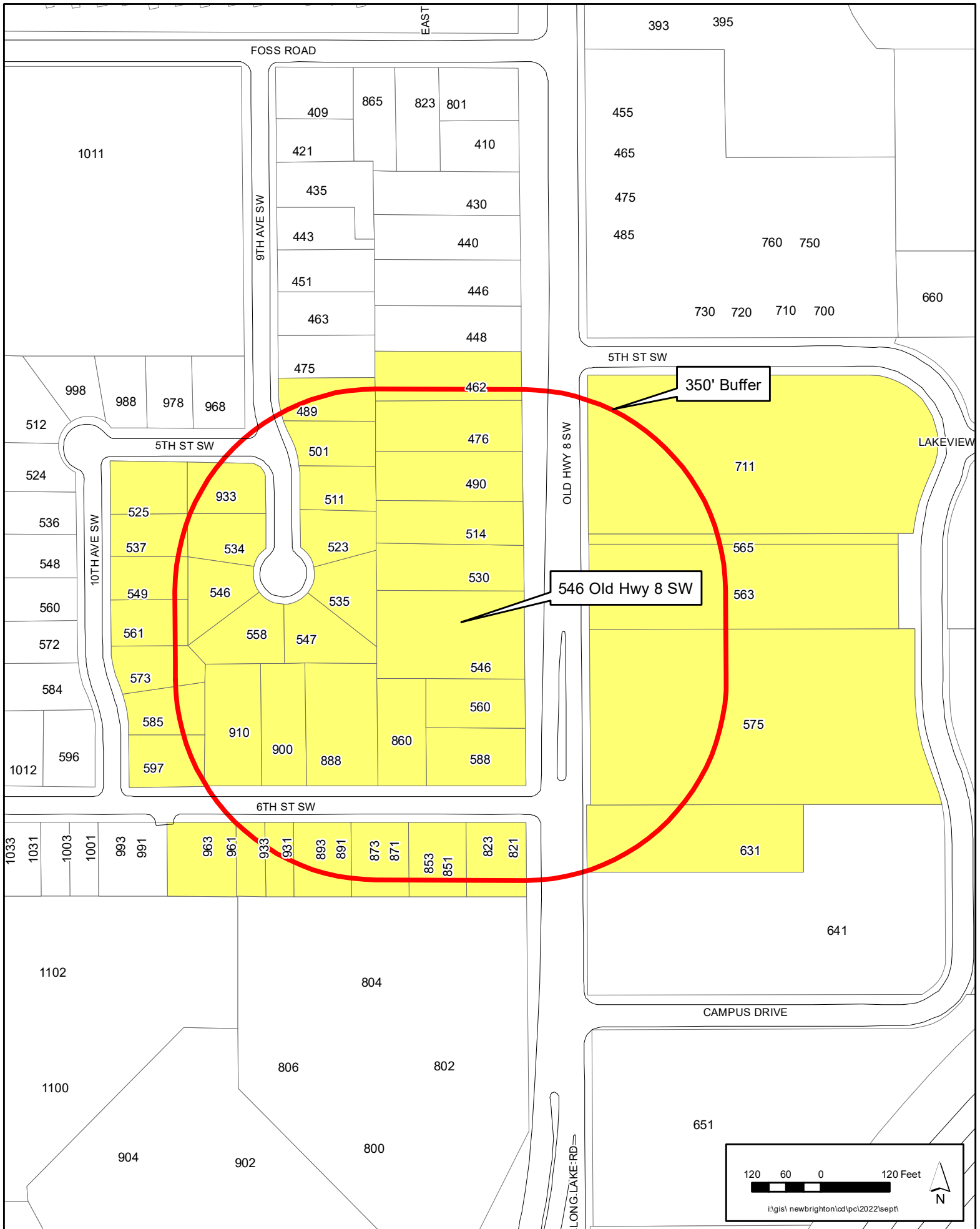
ATTEST:

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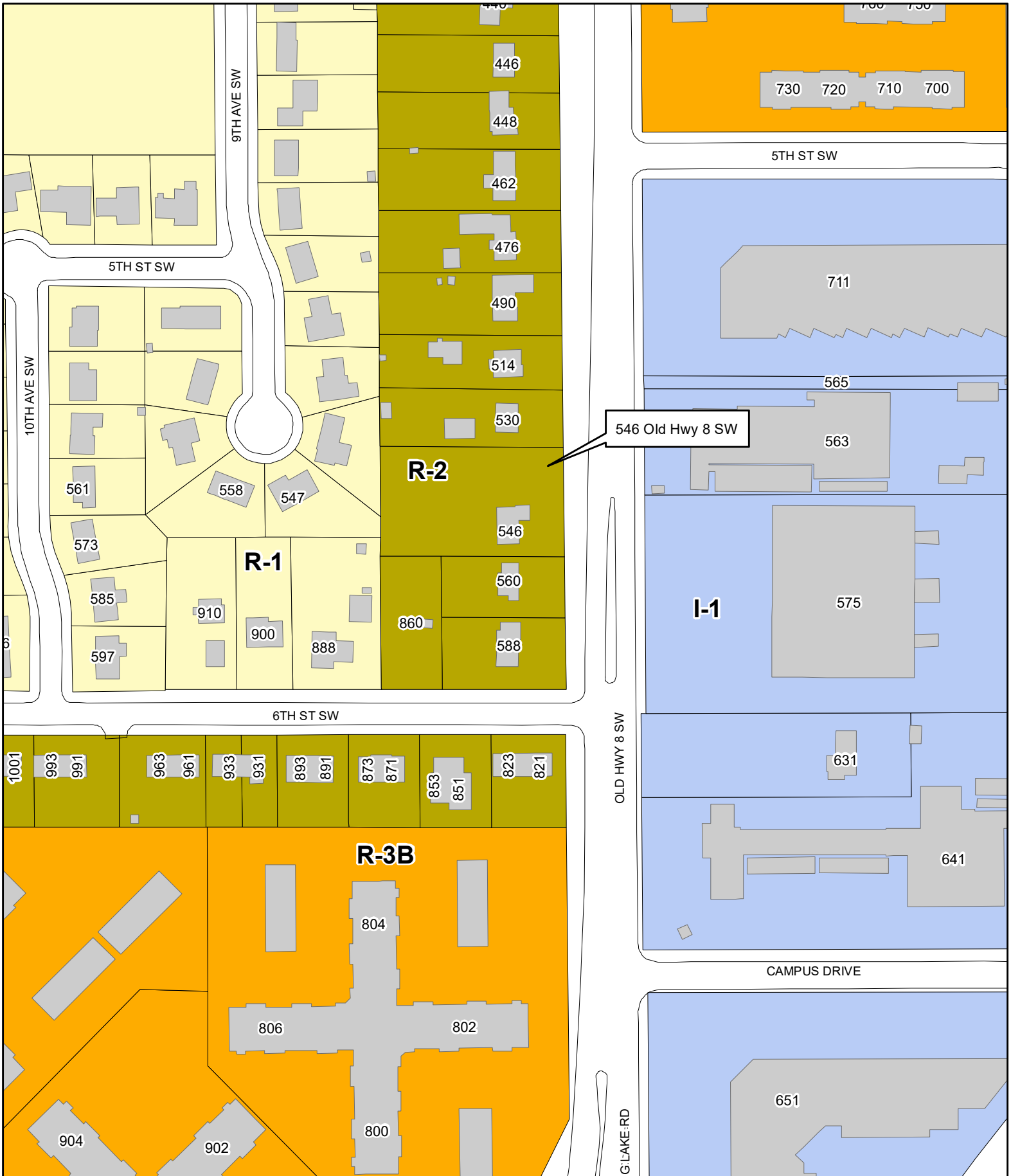
Terri Spangrud, City Clerk



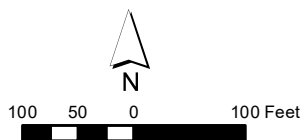
# 546 Old Hwy. 8 SW - 350' Mailing List







- R-1, Single Family Residential
- R-2, Two Family Residential
- R-3A, High Density Residential
- I-1, Light Industrial



**Current Zoning**  
546 Old Hwy. 8 SW  
R-2, Two Family Residential



PRELIMINARY PLAT OF:  
PLETSCHERS ADDITION

LEGAL DESCRIPTION:

(Per Quit Claim Deed dated 10/16/2020 as provided by the client)

All that part of the Northeast Quarter of the Southwest Quarter of Section 32, Township 30, Range 23, described as follows: Commencing at a point 940 feet South of the Northeast corner of said Northeast Quarter of the Southwest Quarter of Section 32, Township 30, Range 23, which point is the true point of beginning; thence at right angles West 330 feet; thence at right angles South 156.3 feet; thence at right angles East 330 feet; thence at right angles North 156.3 feet to the point of beginning, except that portion of the Easterly 75 feet heretofore taken for highway purposes, Ramsey County, Minnesota. EXCEPT that portion of the Northeast Quarter of the Southwest Quarter of Section 32, Township 30 North, Range 23 West, Ramsey County, Minnesota described more particularly as follows: Commencing at the East One Quarter Corner of said Section 32 then South 00 degrees 23 minutes 35 seconds East bearing based on the Ramsey County Coordinate System, a distance of 1090.00 feet along the Easterly line of the Northeast Quarter of the Southwest Quarter of said Section 32; thence South 89 degrees 36 minutes 25 seconds West a distance of 75.00 feet to the point of beginning; thence South 89 degrees 36 minutes 25 seconds West a distance of 255.00 feet; thence South 00 degrees 23 minutes 35 seconds East a distance of 6.30 feet parallel with the Easterly line of said Northeast Quarter of the Southwest Quarter, thence North 89 degrees 36 minutes 25 seconds East a distance of 255.00 feet to the Westerly right of way of Old Highway B; thence North 00 degrees 23 minutes 35 seconds West a distance of 6.30 feet to the point of beginning.

NOTES:

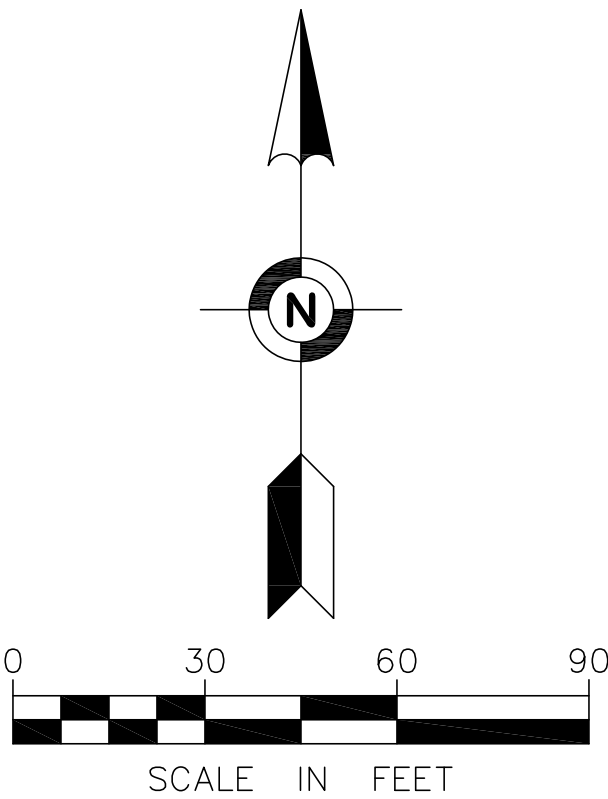
- The orientation of this bearing system is based on the Ramsey County coordinate grid (NAD 83-2011 Adj.).
- The total area of the property described hereon is 38,250 square feet or 0.87810 acres.
- Title work was not furnished to Egan, Field & Nowak, Inc. in the preparation of this survey to verify ownership, the legal description, or the existence of any easements or encumbrances to the property. The property description utilized for the survey, which does not include recording information, was provided by the client.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 221673377. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The property described hereon lies within Flood Zone X (area of minimal flood hazard) per Federal Insurance Rate Map No. 27123 C 0012 G, dated June 4, 2010.
- Adjacent property owners, addresses and parcel numbers were obtained from the Ramsey County Property Information Web site.
- BENCHMARK: Ramsey County Benchmark 9065.  
Elevation = 911.63 (NAVD88)  
  
Site Benchmark= 3/8-Inch rebar at southwest corner of surveyed property.  
Elevation = 932.83 feet. (NAVD88)
- According to the City of New Brighton the property is zoned R-2 (two family residential); is subject to a maximum 2-1/2 story building height, or 33 feet (whichever is less); a minimum lot size of 12,500 square feet; a maximum floor area ratio (F.A.R.) of 0.4; a minimum lot width of 75 feet (85 feet at building setback line); and has the following building setback requirements:  
  
Building setback: Front = 30 feet, Side = 5 feet, Rear = 5 feet (15 feet if adjoining R-1 District)
- No information pertaining to underground Sewer and water utilities were provided by the City of New Brighton or marked in the field pursuant to Gopher One utility locate request.

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: July 11, 2022.  
Date of signature: August 16, 2022.

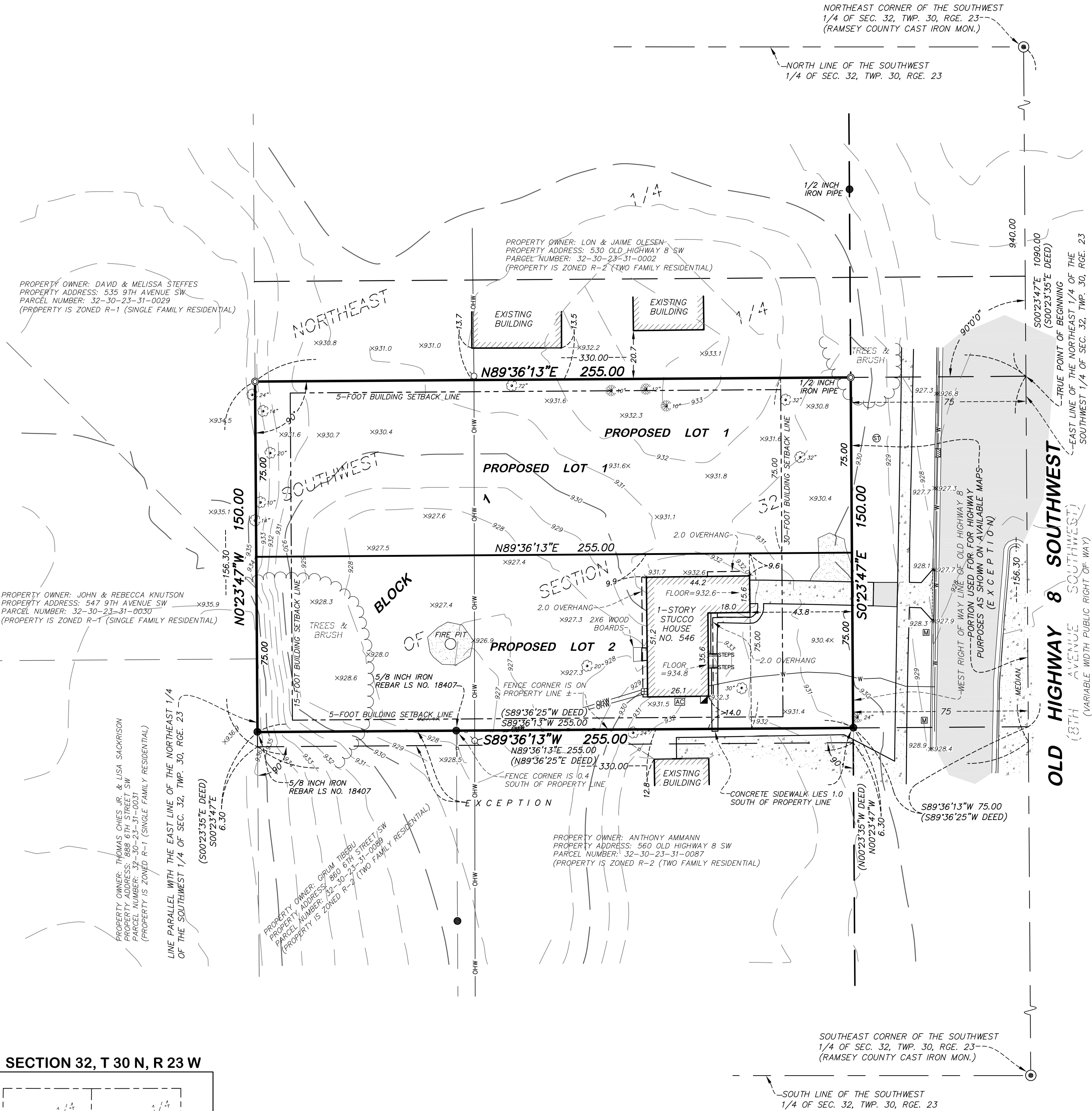
Lee J. Nord  
Minnesota License No. 22033  
lnord@efnsurvey.com



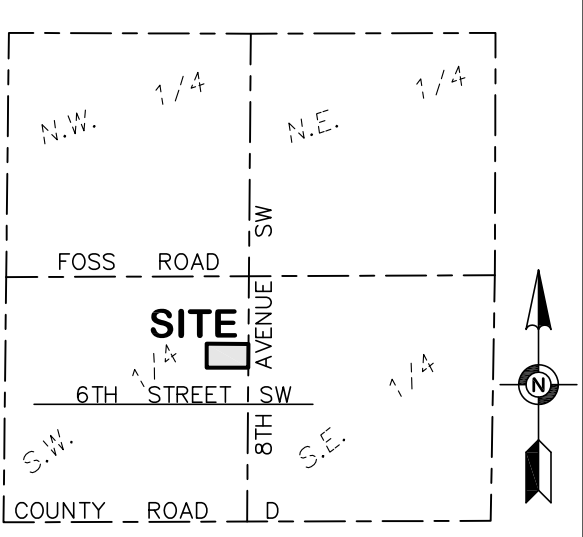
- FOUND CAST IRON MONUMENT
- FOUND IRON MONUMENT
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 22033

LEGEND

- STORM MANHOLE
- CATCH BASIN
- AIR CONDITIONER
- ELECTRIC METER
- UTILITY POLE
- GAS METER
- MAIL BOX
- WOOD FENCE
- WATERMAIN
- OVERHEAD WIRE
- TREELINE
- SPOT ELEVATION
- EXISTING CONTOUR LINE
- TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE



SECTION 32, T 30 N, R 23 W



OWNER/SUBDIVIDER

Jacob Pletscher  
546 Old Highway 8 Southwest  
New Brighton, Minnesota 55112  
Phone: 651-633-6666

LAND SURVEYOR

Egan, Field & Nowak, Inc.  
475 Old Highway 8 Northwest - Suite 200  
New Brighton, Minnesota 55112  
Phone: 612-466-3300

GOPHER STATE ONE CALL NOTE:

List of utilities notified per Gopher State One Call Ticket Nos. 221322557 and 221322586.

Company Name	Phone Number
COMCAST	(800)778-9140
CITY OF NEW BRIGHTON	(651)638-2114
CENTURYLINK - CTLOL	(800)778-9140
MCI	(800)624-9675
XCEL ENERGY	(800)848-7558

PROPOSED LOT AREAS

Lot 1, Block 1 = 19,125 square feet or 0.43905 acres

Lot 2, Block 1 = 19,125 square feet or 0.43905 acres

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
			NO.	DATE	DESCRIPTION
		A.V.			
		DRAWN BY:			
		kgf			
DRAWING NAME:					
40676 Preliminary.dwg					
JOB NO. 40676					
FILE NO. 2530					
		CHECKED BY:			
		LJN			



475 Old Highway 8 NW, Suite 200  
New Brighton, Minnesota 55112  
PHONE: (612) 466-3300  
WWW.EFNSURVEY.COM  
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land surveyors since 1872



PLETSCHERS ADDITION

C.R. DOC. NO. \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS: That Jacob Pletscher, a single person, fee owner of the following described property situated in the City of New Brighton, County of Ramsey, State of Minnesota:

All that part of the Northeast Quarter of the Southwest Quarter of Section 32, Township 30, Range 23, described as follows: Commencing at a point 940 feet South of the Northeast corner of said Northeast Quarter of the Southwest Quarter of Section 32, Township 30, Range 23, which point is the true point of beginning, thence at right angles West 330 feet; thence at right angles South 156.3 feet; thence at right angles East 330 feet; thence at right angles North 156.3 feet to the point of beginning, except that portion of the Easterly 75 feet heretofore taken for highway purposes, Ramsey County, Minnesota. EXCEPT that portion of the Northeast Quarter of the Southwest Quarter of Section 32, Township 30 North, Range 23 West, Ramsey County, Minnesota described more particularly as follows: Commencing at the East One Quarter Corner of said Section 32 then South 00 degrees 23 minutes 35 seconds East bearing based on the Ramsey County Coordinate System, a distance of 1090.00 feet along the Easterly line of the Northeast Quarter of the Southwest Quarter of said Section 32; thence South 89 degrees 36 minutes 25 seconds West a distance of 75.00 feet to the point of beginning; thence South 89 degrees 36 minutes 25 seconds West a distance of 255.00 feet; thence South 00 degrees 23 minutes 35 seconds East a distance of 6.30 feet parallel with the Easterly line of said Northeast Quarter of the Southwest Quarter, thence North 89 degrees 36 minutes 25 seconds East a distance of 255.00 feet to the Westerly right of way of Old Highway 8; thence North 00 degrees 23 minutes 35 seconds West a distance of 6.30 feet to the point of beginning.

Has caused the same to be surveyed and platted as PLETSCHERS ADDITION.

In witness whereof said Jacob Pletscher, a single person, has hereunto set his hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Jacob Pletscher

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Jacob Pletscher, a single person.

(Signature)

(Printed Name)

Notary Public \_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_

I, Lee J. Nord, Professional Land surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes 505.01 Subd. 3., as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Lee J. Nord, Land Surveyor  
Minnesota License No. 22033

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Lee J. Nord.

(Signature)

(Printed Name)

Notary Public \_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_

CITY OF NEW BRIGHTON, MINNESOTA

We do hereby certify that on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the City Council of the City of New Brighton, Minnesota approved this plat. Also, the conditions of Minnesota Statutes Section 505.03, Subd. 2, have been fulfilled.

Mayor \_\_\_\_\_ Clerk \_\_\_\_\_

PROPERTY TAX, RECORDS AND ELECTION SERVICES DEPARTMENT

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year \_\_\_\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Christopher A. Samuel, Ramsey County Auditor/Treasurer

By: \_\_\_\_\_, Deputy

COUNTY SURVEYOR

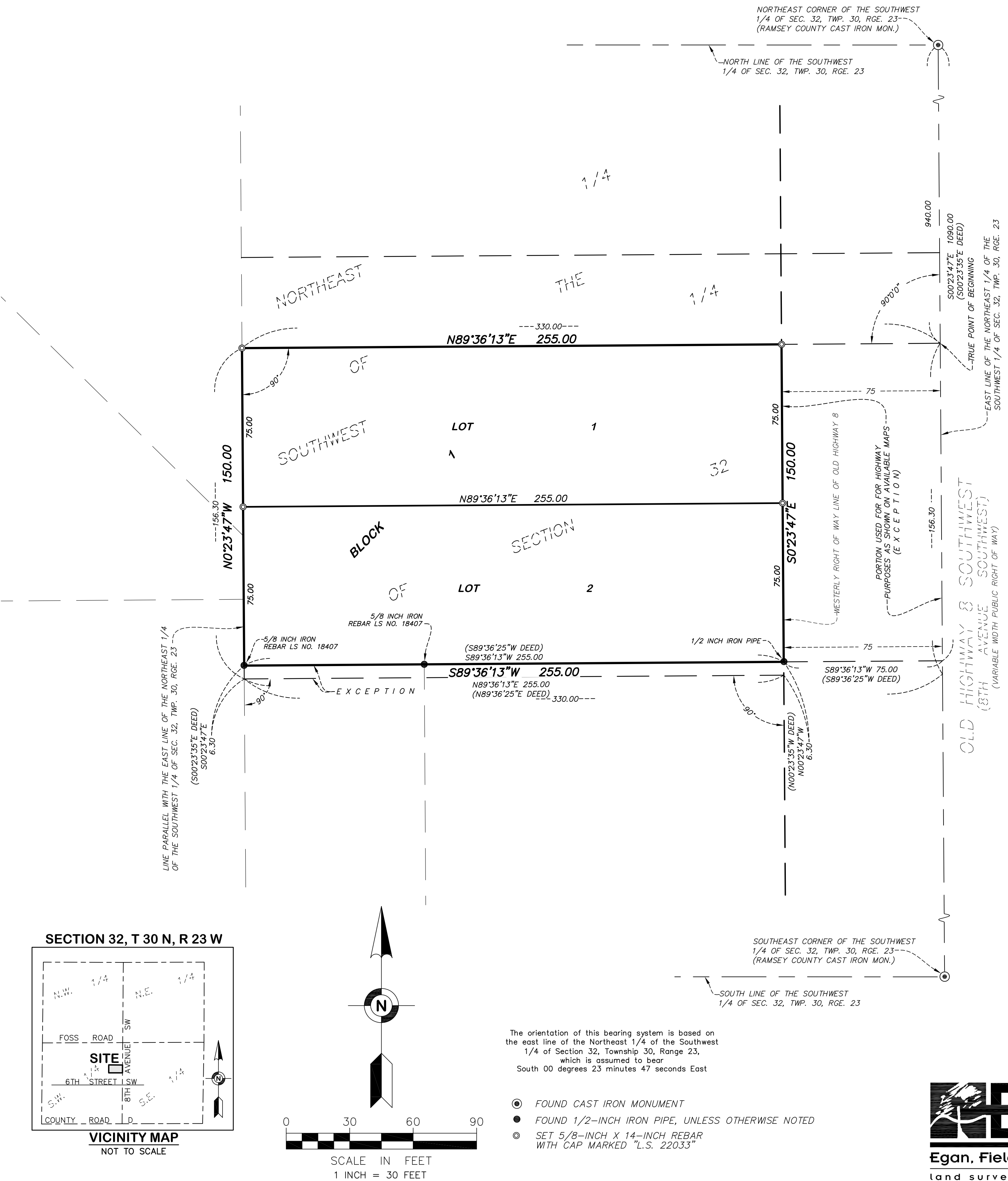
Pursuant to Minnesota Statutes Section 383A.42, this plat has been approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Daniel D. Baor,  
Ramsey County Surveyor

COUNTY RECORDER, COUNTY OF RAMSEY, STATE OF MINNESOTA

I hereby certify that this plat of PLETSCHERS ADDITION was filed in the office of the County Recorder for public record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_ M. and was duly filed in Book \_\_\_\_\_ of Plats, Pages \_\_\_\_\_ and \_\_\_\_\_, as Document Number \_\_\_\_\_.

Deputy County Recorder





<b>Agenda Section:</b>	<b>VII</b>
<b>Item:</b>	<b>1</b>
<b>Report Date:</b>	<b>9/12/22</b>
<b>Commission Meeting Date:</b>	<b>9/20/22</b>

## REQUEST FOR COMMISISON CONSIDERATION

<b>ITEM DESCRIPTION:</b>	<b>Site Plan Review – Pletschers’ Greenhouse new/replacement Greenhouse at 641 Old Highway 8</b>
<b>DEPARTMENT HEAD’S APPROVAL:</b>	
<b>CITY MANAGER’S APPROVAL:</b>	
<b>No comments to supplement this report</b>	<b>Comments attached</b>

**15.99 Deadline:** 10/18/22

- Recommendations:**
- Staff believes the site plan can be approved with conditions.
  - Template motions, recommended findings, and suggested conditions can be found on pages 8 & 9.

- Legislative History:**
- Pletschers’ Greenhouses founded in 1920.
  - Original greenhouse constructed in 1965.
  - Application for new/replacement greenhouse received on August 18, 2022.

- Financial Impact:**
- None

**Summary:** Jacob Pletscher from Pletschers’ Greenhouses, is seeking to replace a current retail greenhouse with a larger, more modern, retail greenhouse.

- Attachments:**
- 1) Staff Report
  - 2) Engineers Memo
  - 3) Draft Resolution
  - 4) City Maps
  - 5) Site Plan & Project plans



Ben Gozola, AICP

Assistant Director of Community Assets and Development



**To:** Planning Commission  
**From:** Ben Gozola, Assistant Director DCAD  
**Meeting Date:** 9-20-22  
**Applicants:** City of New Brighton  
**Main Contact:** Jacob Pletscher  
**Location:** 641 Old Highway 8  
**Zoning:** I-1

### Introductory Information

<b>Project:</b>	Jacob Pletscher from Pletschers' Greenhouses, is seeking to replace a current retail greenhouse with a larger, more modern, retail greenhouse.
<b>History:</b>	<ul style="list-style-type: none"> <li>Per the Pletschers' Greenhouses website, the company was founded 102 years ago. <i>"We were founded by John E. Pletscher in 1920. He sold garden and vegetable plants and vegetables grown on his farm. His sons, John, Robert, and Glenn, joined him in the business in 1946 when they returned home from World War II. They expanded the greenhouses and added the retail florist shop."</i></li> <li>Greenhouse originally constructed in 1965 per Ramsey County records. Aerial photos suggest there have been minor additions since that time, but the layout and buildings, including the greenhouse proposed for removal, are largely original.</li> </ul>
<b>Request(s):</b>	<ul style="list-style-type: none"> <li><b>Site plan review for construction of replacement greenhouse on the property at 641 Old Highway 8.</b></li> </ul>
<b>Applicant Narrative:</b>	"I want to build a new retail garden center to update and expand the indoor retail area. This will have much better curb appeal, as well as be much more functional than the current garden center. Our current structure is the original retail greenhouse and is a little cramped and crowded. A new building will allow for more stock to be available at once but also more spacing and make it a more enjoyable shopping experience. It will sit in a similar footprint north to south as the current but run back into the property more so it won't impact the parking lot in terms of spacing." [sic]





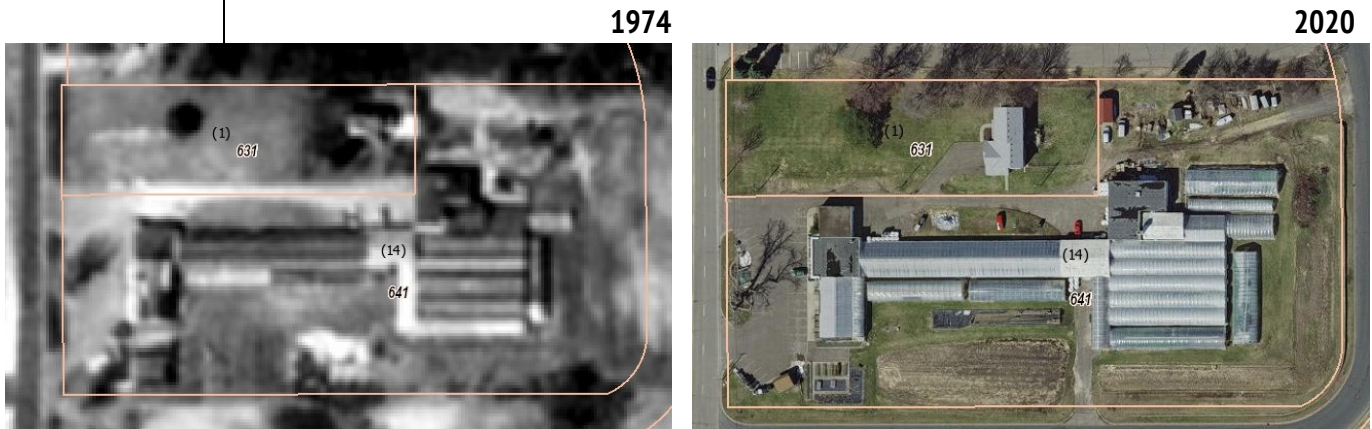


## General Findings

<b>Site Data:</b>	<ul style="list-style-type: none"> <li>Existing Lot Size <math>\approx</math> 3.85 acres (167,618 sq ft)</li> <li>Existing Use – Pletschers' Greenhouses</li> <li>Existing Zoning – I-1</li> <li>Property Identification Numbers (PID): 32-30-23-43-0014</li> </ul>
<b>Comp Plan Guidance:</b>	<ul style="list-style-type: none"> <li>The 2040 Comprehensive Plan guides this property for Industrial use, so the existing greenhouse business is consistent with the community's planning guide.</li> </ul>
<b>Notable Code Definitions:</b>	<ul style="list-style-type: none"> <li>None</li> </ul>
<b>Applicable Codes:</b>	<ul style="list-style-type: none"> <li><b>Chapter 6, Article 1, <u>I-1 District.</u></b> Identifies parameters for development on the subject parcel</li> <li><b>Chapter 8, Article 1, <u>Section 8-010 Site Plan Approval.</u></b> Identifies the process by which site plans are to be reviewed and authorized.</li> </ul>

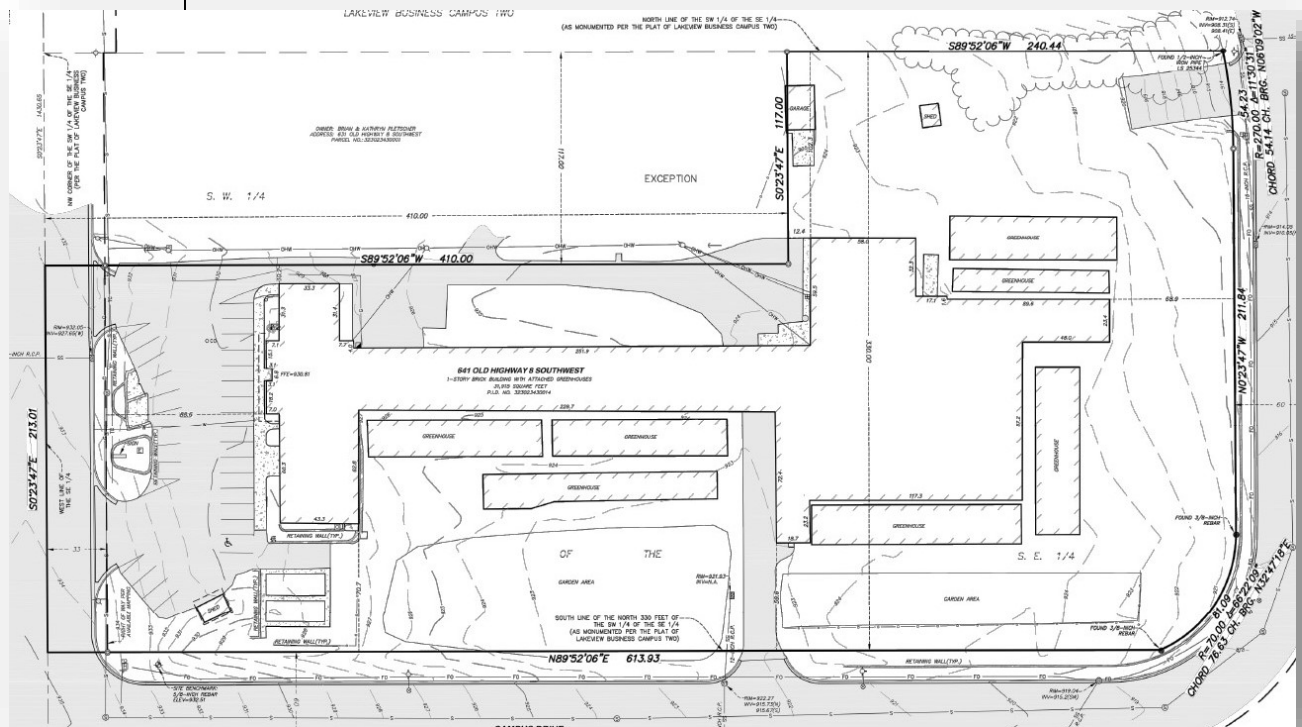
## Site Plan Review

<b>In General:</b>	<ul style="list-style-type: none"> <li>Per Zoning Code Section 8-010, new building construction (other than double and single family residences) shall be referred to the City Council for review. The following is an overview of important findings in relation to code requirements.</li> </ul>
<b>Existing Conditions:</b>	<ul style="list-style-type: none"> <li>Very little has seemingly changed on the property over the last 40+ years as shown by this 1974 aerial and 2020 aerial.</li> </ul>

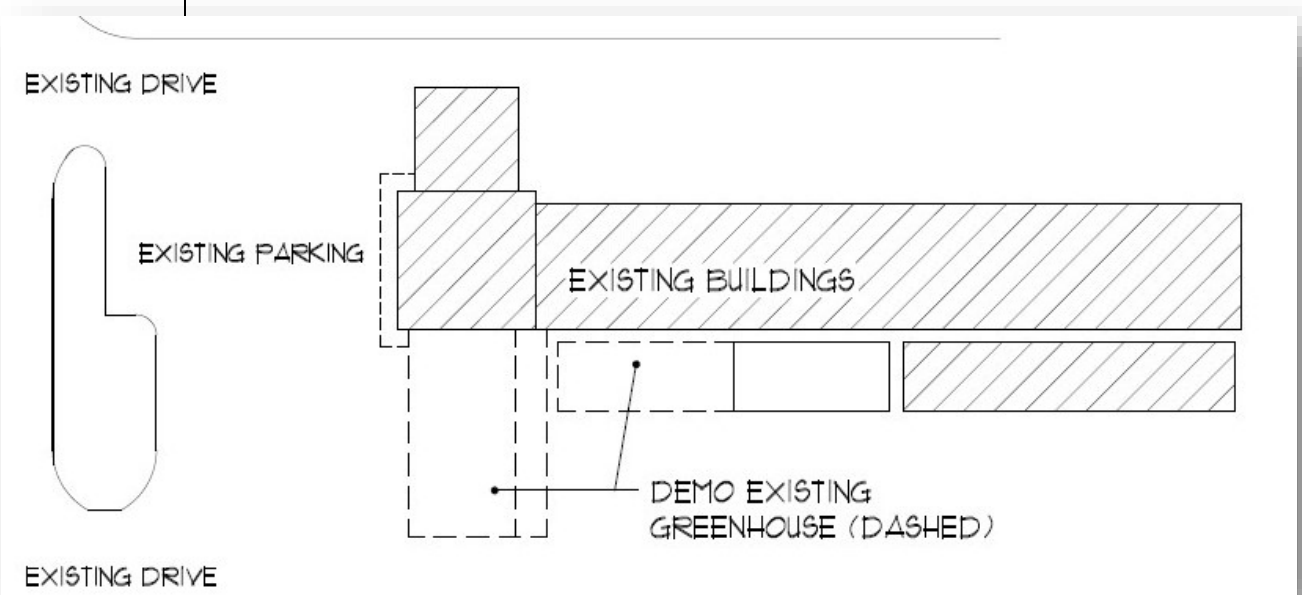




- The existing conditions of the site are as follows:



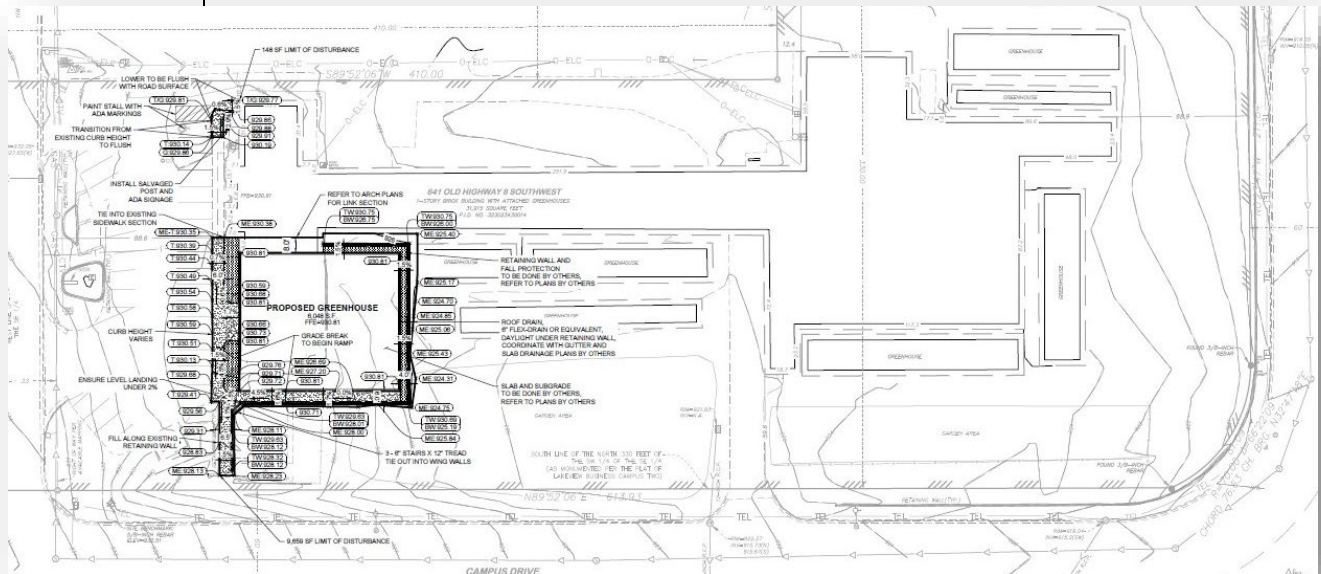
- The proposed demo would be as follows:



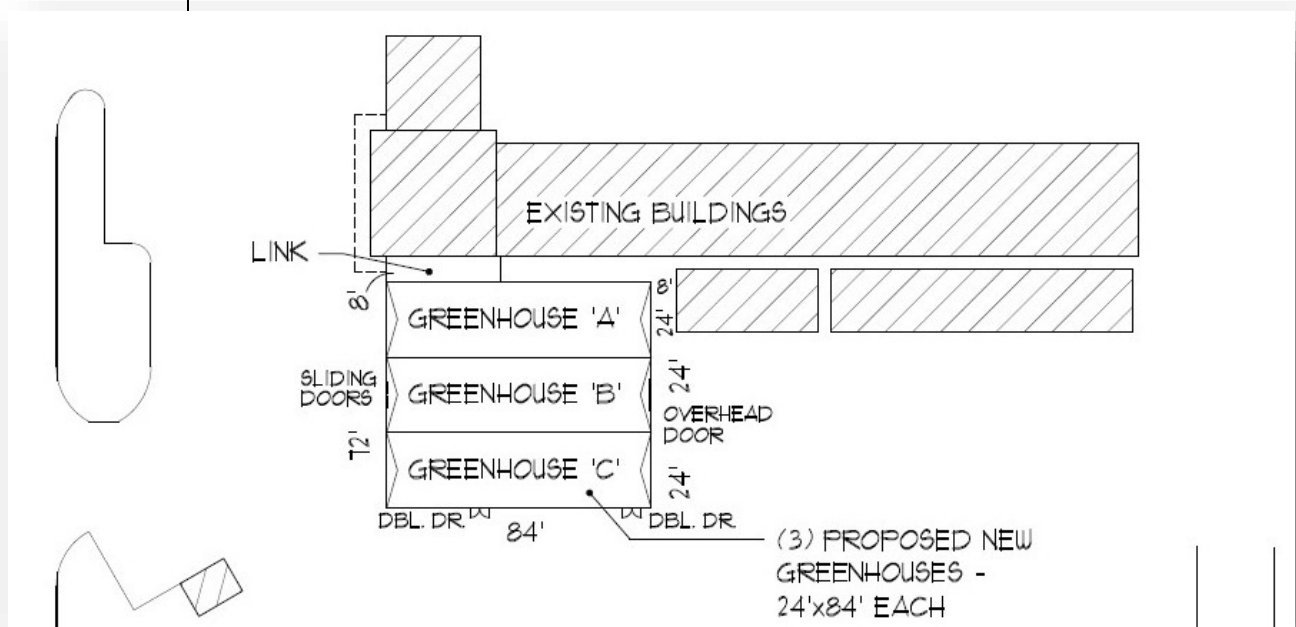


***Proposed Site  
Plan Updates:***

- The proposed greenhouse addition would be as follows:



- The new footprint would present externally as three new side-by-side greenhouses:



- All proposed construction would be outside of required setbacks, away from parking, and would not impact current functioning of the site.



**Setbacks:**

I-1	Required	NEW Setbacks
Front (Old 8)	40	95'
Side (south/Campus Dr)	40	51'
Side (north)	15	89'
Rear (east/Campus Dr)	40	447'

- The proposed greenhouse addition will meet all required setbacks.

**Building Materials:**

- Like all greenhouses, the primary exterior material will be tempered glass walls and acrylic roofs (essentially transparent materials which allow light to enter which is absorbed by the plants which in turn produces heat and a year-round, plant friendly environment). From a before and after standpoint, the new structure(s) will visually improve the site and will be a welcome addition along Old 8.

**Building Height:**

- The greenhouse addition will only be 18' to the highest peaks, so well below the maximum I-1 height of 40 feet.

**Landscaping:**

- The proposed carport square footage does not trigger any required landscaping.

**Lighting:**

- No lighting concerns are apparent from the plans as submitted. Installation of any new lighting will need to meet all code requirements.

**Lot Access:**

- The access points to the property will not change from existing conditions.
- The City and Ramsey County are proposing improvements to Old Highway 8 in 2023. Included with the project is a secondary access driveway located off of Campus Drive. Construction of the proposed greenhouse addition and related sidewalk/driveway improvements should be coordinated with the City to ensure site grades are matched.

**Water System(s):**

- As a condition of approval, Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.
- It is unclear if additional utilities (water, sewer, storm) are being proposed with the addition. If so, such utilities shall be shown on the future building plans. In terms of general ability of the City to provide services, there are no concerns for this property.



<b><i>Sanitary System(s):</i></b>	<ul style="list-style-type: none"> <li>As a condition of approval, Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.</li> <li>It is unclear if additional utilities (water, sewer, storm) are being proposed with the addition. If so, such utilities shall be shown on the future building plans. In terms of general ability of the City to provide services, there are no concerns for this property.</li> </ul>
<b><i>Storm water / Grading / Erosion:</i></b>	<ul style="list-style-type: none"> <li>As a condition of approval, Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.</li> <li>It is unclear if additional utilities (water, sewer, storm) are being proposed with the addition. If so, such utilities shall be shown on the future building plans. In terms of general ability of the City to provide services, there are no concerns for this property.</li> <li>The proposed retaining wall will be required to be engineered and approved by a professional engineer</li> </ul>
<b><i>Signage</i></b>	<ul style="list-style-type: none"> <li>On-site signage has been previously authorized via permit and variance in the past. Future changes to signage will continue to be reviewed through the sign permit process.</li> </ul>
<b><i>Fire/Safety:</i></b>	<ul style="list-style-type: none"> <li>The new addition will be required to meet all building code requirements for fire protection as determined by the Building official at the time of permit review.</li> </ul>
<b><i>Hours of Operations:</i></b>	<ul style="list-style-type: none"> <li>9:00 a.m. to 6:00 p.m. daily (closed Sundays)</li> </ul>
<b><i>Parking &amp; Traffic:</i></b>	<ul style="list-style-type: none"> <li>No parking will be impacted, and proposed changes are not anticipated to have significant impacts on area traffic.</li> </ul>
<b><i>Sidewalks &amp; Trails:</i></b>	<ul style="list-style-type: none"> <li>No further improvements on this property are necessary at this time.</li> </ul>
<b><i>Development Phasing:</i></b>	<ul style="list-style-type: none"> <li>All improvements will be completed in a single phase.</li> </ul>



**Watershed  
 District Review**

- Per the watershed district:
  - The project appears to be under 10,000 sq. ft of new and/or reconstructed impervious surface. The project will need to confirm impervious surface totals. The watershed will follow up with the applicant on whether a watershed permit is needed or not.
  - No floodplain or wetland concerns.

**Conclusion:**

The applicant is requesting approval of a site plan to authorize construction of a replacement/new greenhouse onto the existing greenhouse business at 641 Old Highway 8.

**Staff Recommendation:** Per the analysis outlined in the report, staff is recommending **APPROVAL** of the proposed site plan with conditions. All improvements are in conformance with code requirements.

**Commission  
 Options:**

The Planning Commission has the following options:

- A) RECOMMEND APPROVAL OF THE SITE PLAN based on the applicant's submittals and findings of fact.
- B) RECOMMEND DENIAL OF THE SITE PLAN based on the applicant's submittals and findings of fact.
- C) TABLE THE ITEM and request additional information.

Based on an application date of 8/19/2022, the City must make a decision on this application by 10/18/2022, or take action to extend the official review period an additional 60-days.

**Template Denial  
 Motion:**

**(not recommended)**

- "I move that we recommend the City Council deny the proposed site plan based on the following findings of fact:"
  - (*provide findings to support your conclusion*)

**Template Approval  
 Motion:  
 RECOMMENDED**

- "I move we recommend the City Council approve the proposed site plan based on the findings of fact and conditions listed on pages 8 & 9 of the report as may have been amended here tonight."



***Suggested Findings  
of Fact:***

1. The proposed improvements are conforming to all code requirements, and do not require the issuance of a special use permit or variances.
2. Building materials will be in conformance with code for the intended use.
3. The proposed structure heights will be less than the 40-foot maximum allowed in the I-1 district.
4. No additional landscaping is mandated by code for the proposed renovation, but additional landscaping may be added for general site beautification at the discretion of the applicant.
5. Improvements do not pose a parking or traffic risk.

***Recommended  
Conditions:***

1. Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.
2. Construction of the proposed greenhouse addition and related sidewalk/driveway improvements shall be coordinated with the City to ensure site grades are matched with the upcoming Old Highway 8 reconstruction project.
3. Utilities shall be shown on the future building permit plans.
4. The proposed retaining wall shall be engineered and approved by a professional engineer prior to installation.
5. The new addition shall be required to meet all building code requirements for fire protection as determined by the Building official at the time of permit review.
6. All lighting shall be directed downward and installed so as to prevent direct light from being detectable at the lot line; lighting is also not to shine directly into the public right-of-way or adjacent residences.
7. The applicants shall obtain authorization from the RCWD for their site plan and the proposed improvements.
8. Signage updates shall be reviewed and approved through the City's standard sign permit process.





# interoffice

## MEMORANDUM

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**to:** Ben Gozola, Assistant Director of Community Assets and Development  
**from:** Dustin Lind, Engineering Supervisor  
**subject:** Pletschers Greenhouse Addition  
**date:** September 12, 2022

The Engineering Department has reviewed the site plan for Pletschers Greenhouse Addition and we offer the following comments:

### General

- 1) The City and Ramsey County are proposing improvements to Old Highway 8 in 2023. Included with the project is a secondary access driveway located off of Campus Drive. Construction of the proposed greenhouse addition and related sidewalk/driveway improvements should be coordinated with the City to ensure site grades are matched.
- 2) It is unclear if additional utilities (water, sewer, storm) are being proposed with the addition. If so, they are to be shown on the plans. Future plans should also include fire protection (if applicable).
- 3) The proposed retaining wall will be required to be engineered and approved by a professional engineer.
- 4) A permit from the Rice Creek Watershed District may be required if the project results in 10,000 square feet of new or reconstructed impervious surface.



**RESOLUTION NO. \_\_\_\_\_**  
**STATE OF MINNESOTA**  
**COUNTY OF RAMSEY**  
**CITY OF NEW BRIGHTON**

RESOLUTION MAKING FINDINGS OF FACT AND APPROVING A SITE PLAN  
AUTHORIZING CONSTRUCTION OF A NEW/REPLACEMENT GREENHOUSE AT  
PLETSCHERS' GREENHOUSES AT 641 OLD HIGHWAY 8

**WHEREAS**, the City of New Brighton is a municipal corporation, organized and existing under the laws of the State of Minnesota; and,

**WHEREAS**, the City Council of the City of the New Brighton has adopted a comprehensive plan and corresponding zoning regulations to promote orderly development and utilization of land within the city; and,

**WHEREAS**, Jacob Pletscher and Sam Britt own the property located at 641 Old Highway 8 in New Brighton; and,

**WHEREAS**, Jacob Pletscher and Sam Britt (the "Applicants") have made application for Site Plan approval to authorize construction of a new/replacement greenhouse at Pletschers' Greenhouses; and

**WHEREAS**, staff fully reviewed the request and prepared a report for consideration by the Planning Commission at their meeting on September 20, 2022; and

**WHEREAS**, the Planning Commission recommended approval of the request on September 20, 2022, based on the applicant's submittals and findings of fact; and

**WHEREAS**, the City Council considered on September 27, 2022, the recommendations of the Planning Commission, Staff, the Applicant's submissions, the contents of the staff report, and other evidence available to the Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of New Brighton hereby approves the requested site plan based on the following findings of fact:

1. The proposed improvements are conforming to all code requirements, and do not require the issuance of a special use permit or variances.
2. Building materials will be in conformance with code for the intended use.
3. The proposed structure heights will be less than the 40-foot maximum allowed in the I-1 district.
4. No additional landscaping is mandated by code for the proposed renovation, but additional landscaping may be added for general site beautification at the discretion of the applicant.



5. Improvements do not pose a parking or traffic risk.

**BE IT FURTHER RESOLVED**, that approval of the site plan shall be subject to the following conditions:

1. Engineering comments in the 9/12/22 Engineering Memo (attached) shall be addressed.
2. Construction of the proposed greenhouse addition and related sidewalk/driveway improvements shall be coordinated with the City to ensure site grades are matched with the upcoming Old Highway 8 reconstruction project.
3. Utilities shall be shown on the future building permit plans.
4. The proposed retaining wall shall be engineered and approved by a professional engineer prior to installation.
5. The new addition shall be required to meet all building code requirements for fire protection as determined by the Building official at the time of permit review.
6. All lighting shall be directed downward and installed so as to prevent direct light from being detectable at the lot line; lighting is also not to shine directly into the public right-of-way or adjacent residences.
7. The applicants shall obtain authorization from the RCWD for their site plan and the proposed improvements.
8. Signage updates shall be reviewed and approved through the City's standard sign permit process.

**ADOPTED** this 27<sup>th</sup> day of September, 2022 by the New Brighton City Council with a vote of \_\_\_ ayes and \_\_\_ nays.

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Kari Niedfeldt-Thomas, Mayor

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Devin Massopust, City Manager

ATTEST:

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Terri Spangrud, City Clerk



## City of New Brighton Application Form

(Land use applications, Subdivision applications, and vacation requests will not be considered complete and will not be accepted until all property owners have signed)

### I. Property Owner #1

Jacob Pletscher 641 Old Hwy 8 SW 55112  
(name) (mailing address) (st) (zip)  
651 747 6959 Jake@pletschers.com  
(phone #) (fax #) (email)

Signature: 

### II. Property Owner #2 For more than two owners, please provide their information and signature(s) on a separate sheet.

Sgm Britt 11049 Ilex St NW MN 55448  
(name) (mailing address) (st) (zip)  
612 636 7826 \_\_\_\_\_  
(phone #) (fax #) (email)

Signature: 

### III. Please identify the request(s) for which you are applying:

- ☐ **LAND USE APPLICATION** (subject to MN State Statute 15.99 timelines)
- |   |  |
|---|--|
| <input type="checkbox"/> Variance                         | <input type="checkbox"/> Non-conforming Use Permit           |
| <input type="checkbox"/> Special Use Permit               | <input type="checkbox"/> Grading Permit                      |
| <input checked="" type="checkbox"/> Site Plan Review      | <input type="checkbox"/> Moving/Relocating Structures Permit |
| <input type="checkbox"/> Zoning Code Amendment / Rezoning | <input type="checkbox"/> Sign Permit                         |
| <input type="checkbox"/> Comprehensive Plan Amendment     | <input type="checkbox"/> Other:                              |

#### FEES

*Fees for individual application types are established on a yearly basis by the City Council.*

- ☐ **SUBDIVISION APPLICATION** (subject to MN State Statute 462.358, subd. 3b timelines)
- |   |   |
|---|---|
| <input type="checkbox"/> Administrative Lot Split / Minor Subd. | <input type="checkbox"/> Preliminary Plat |
| <input type="checkbox"/> PUD or PRD                             | <input type="checkbox"/> Final Plat       |

*Please see the attached fee schedule for the applicable costs (and possibly escrow requirements) for your request(s)*

- ☐ **GENERAL APPLICATION** (not subject to any state mandated timelines)
- |  |  |
|--|--|
| <input type="checkbox"/> Right of Way Vacation       | <input type="checkbox"/> Municipal Site Work Authorization |
| <input type="checkbox"/> Easement / Utility Vacation | <input type="checkbox"/> Zoning Letter                     |
| <input type="checkbox"/> Administrative Appeal       | <input type="checkbox"/> Temporary Use Permit              |
| <input type="checkbox"/> Deadline Extension Request  | <input type="checkbox"/> Other:                            |

**Briefly describe your request below** (If additional space is needed, please attach a narrative to this application)

I would like to replace our current retail Greenhouse with a larger more modern retail Greenhouse.



**IV. Property & Contractor Information:**Street Location/Address of Property: 641 Old Hwy 8 SWProperty Identification Number (PID): 323023430014 Zoning District: 1-1Legal Description (From Deed or Certificate of Title): ☐ Please see attached

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Addition: \_\_\_\_\_

Property described is by: ☐ Abstract ☐ Torrens – Certificate #: \_\_\_\_\_

Location of Certificate: \_\_\_\_\_

Architect (if applicable): Albert J Laver inc Phone: 651 423 1651Surveyor/Engineer (if applicable): EFN / Kimley Horn Phone: 612-466-3300 / 651-645-4177Builder (if applicable): Albert J Laver inc Phone: 651 423 1651**V. Main Contact Person**☒ Property Owners☐ Other (if other, please fill out the information below)

Title (Position or relation to property owners): \_\_\_\_\_

(name) (address) (st) (zip)

(phone #) (fax #) (email)

**VI. Notice of Fees**

As set forth in the City Fee Schedule and pursuant to applicable law, the property owner shall be responsible to reimburse the city for all related miscellaneous costs incurred pursuant to the processing of this application. Note that these reimbursements may exceed the amount of the original land use application fee. Such expenses may include, but are not limited to, direct city payroll and overhead costs, fees paid to consultants and other professionals, and the cost of printing, mailing, and supplies. These miscellaneous fees are due immediately upon notification by the City. The City shall provide, upon request, an itemized statement of the various expenses incurred by the City. The City may withhold final action on a land use application and/or rescind prior action until all miscellaneous fees are paid. The City may require additional deposits, if deemed necessary. The property owner agrees to allow city staff and commission members to access the property per this application for inspection.

I acknowledge that I have read the above statement and fully understand that I am responsible for all costs incurred by the City in the processing and reviewing of this application.

Property Owners Signature: Date: 8/12/22**ADMINISTRATIVE USE ONLY:**

Date Application Received: \_\_\_\_\_ PC Date: \_\_\_\_\_

Fee Paid: \_\_\_\_\_ CC Date: \_\_\_\_\_

Escrow Paid: \_\_\_\_\_

Receipt Number: \_\_\_\_\_



I want to build a new retail garden center to update and expand the indoor retail area. This will have much better curb appeal, as well as be much more functional than the current garden center. Our current structure is the original retail greenhouse and is a little cramped and crowded. A new building will allow for more stock to be available at once but also more spacing and make it a more enjoyable shopping experience. It will sit in a similar footprint north to south as the current but run back into the property more so it won't impact the parking lot in terms of spacing.



**SECTION 32, TOWNSHIP 30, RANGE 23  
NEW BRIGHTON, RAMSEY COUNTY, MN**

**Kimley»Horn**  
2022 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-645-4197  
WWW.KIMLEY-HORN.COM

DRAWING INDEX	
SHEET NO.	SHEET TITLE
C000	COVER SHEET
C100	GENERAL NOTES
C200	DEMO PLAN
C400	SITE PLAN
C401	SITE DETAILS
C500	GRADING PLAN

[illegible]







EXISTING CONDITIONS SURVEY FOR:  
PLETSCHER'S GREENHOUSE

LEGAL DESCRIPTION:

Unplatted lands subject to highway and the North 330 feet of Southwest 1/4 of the Southeast 1/4 of Section 32, Township 30, Range 23, except East 532 feet and except North 117 feet of West 410 feet thereof.

Per Warranty Deed Doc. No. 2235583

SUGGESTED LEGAL DESCRIPTION:

All that part of the North 330 feet of Southwest 1/4 of the Southeast 1/4 of Section 32, Township 30 North, Range 23 West, lying northerly and westerly of Campus Drive, as dedicated in the plat of LAKEVIEW BUSINESS CAMPUS TWO.

EXCEPTING THEREFROM

The North 117 feet of the West 410 feet thereof.

Ramsey County, Minnesota

NOTES:

- The orientation of this bearing system is based on the Ramsey County coordinate grid (NAD 83-2011 Adj.).
- The total area of the property described hereon is 167,618 square feet or 3.84798 acres.
- Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify the legal description, or the existence of any easements or encumbrances.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 22103199. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation. List of utilities notified per Gopher State One Call Ticket No. 22103199.  

XCEL  
ARVIG  
COMCAST  
CITY OF NEW BRIGHTON  
ROGERS COMMUNICATIONS

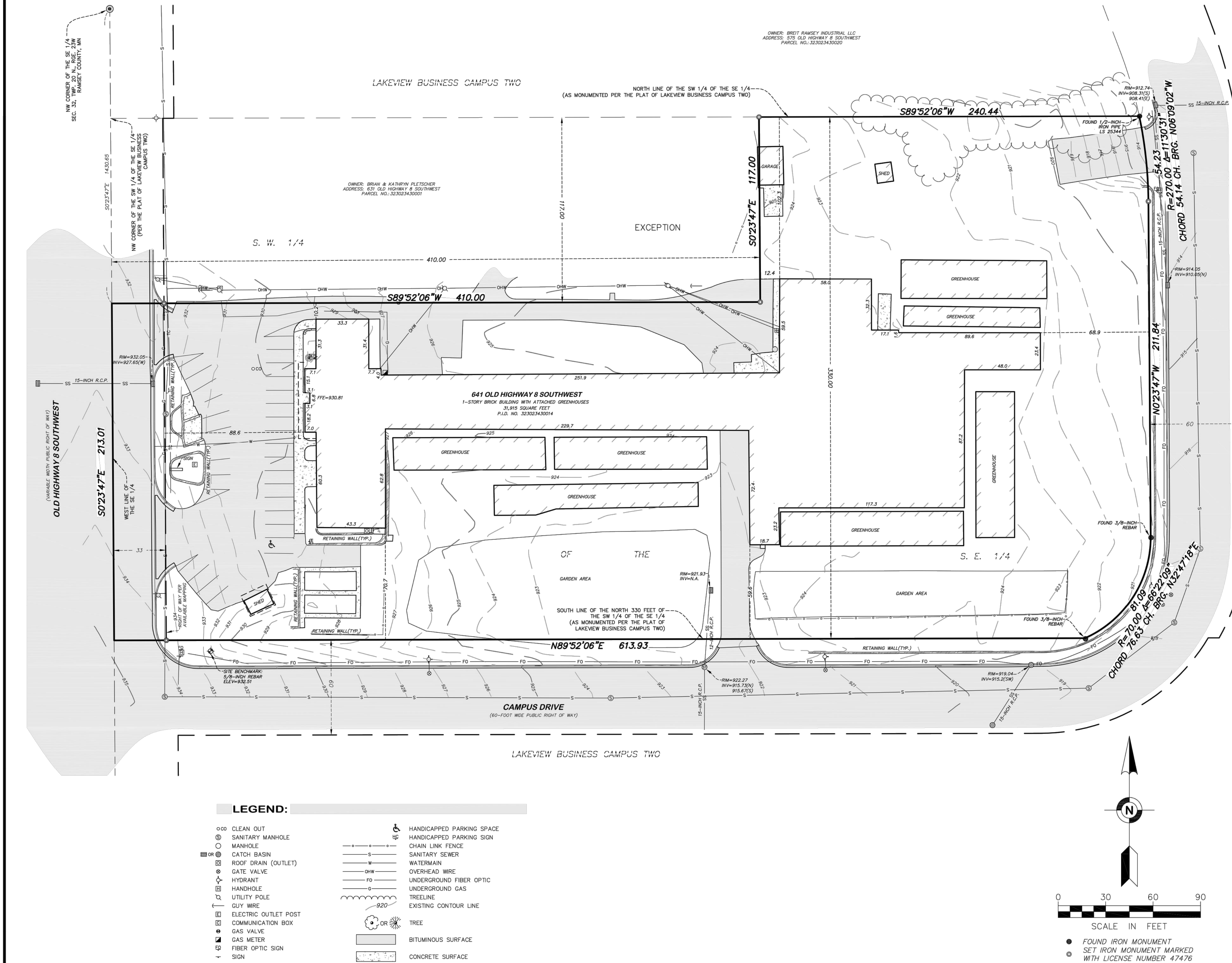
MCI  
MNDOT  
MP NEXTLEVEL LLC  
ZAYO BANDWIDTH  
CENTURYLINK - CTLQ
- BENCHMARK: Ramsey County Benchmark 9065.  
Elevation = 911.63 (NAVD88)  
Site Benchmark = 3/8-Inch rebar at southwest corner of surveyed property.  
Elevation = 932.83 feet. (NAVD88)
- The East 532 feet of the SW 1/4 of the SE 1/4 of the SE 1/4 lies offsite and easterly of the surveyed property. Due to drawing scale, this exception is not depicted hereon.

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: April 20, 2022.  
Date of signature: May 4, 2022.

*Eric A. Roeser*  
Eric A. Roeser  
eroeser@efnsurvey.com  
Minnesota License No. 47476



LEGEND:	
	CLEAN OUT
	SANITARY MANHOLE
	MANHOLE
	CATCH BASIN
	ROOF DRAIN (OUTLET)
	GATE VALVE
	HYDRANT
	HANDHOLE
	UTILITY POLE
	GUY WIRE
	ELECTRIC OUTLET POST
	COMMUNICATION BOX
	GAS VALVE
	GAS METER
	FIBER OPTIC SIGN
	HANDICAPPED PARKING SPACE
	HANDICAPPED PARKING SIGN
	CHAIN LINK FENCE
	SANITARY SEWER
	WATERMAIN
	OVERHEAD WIRE
	UNDERGROUND FIBER OPTIC
	UNDERGROUND GAS
	TREELINE
	EXISTING CONTOUR LINE
	TREE
	BITUMINOUS SURFACE
	CONCRETE SURFACE

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
		SK	NO.	DATE DESCRIPTION
		DRAWN BY:	1	7-19-22 Updated surface
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		CHECKED BY:		
		EAR		
DRAWING NAME: 40542.dwg				
JOB NO. 40542				
FILE NO. 4029				

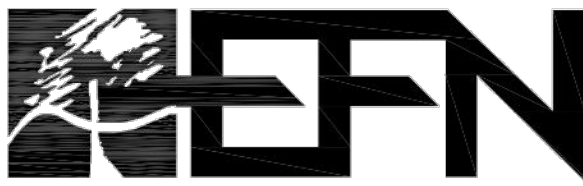
EXISTING CONDITIONS  
SURVEY

SURVEY FOR:

Pletscher's Greenhouse

PROPERTY ADDRESS:

641 Old Highway 8 Southwest  
New Brighton, Minnesota 55112



Egan, Field & Nowak, Inc.  
land surveyors since 1872

475 Old Highway 8 NW, Suite 200  
New Brighton, Minnesota 55112  
PHONE: (612) 466-3300  
WWW.EFNSURVEY.COM

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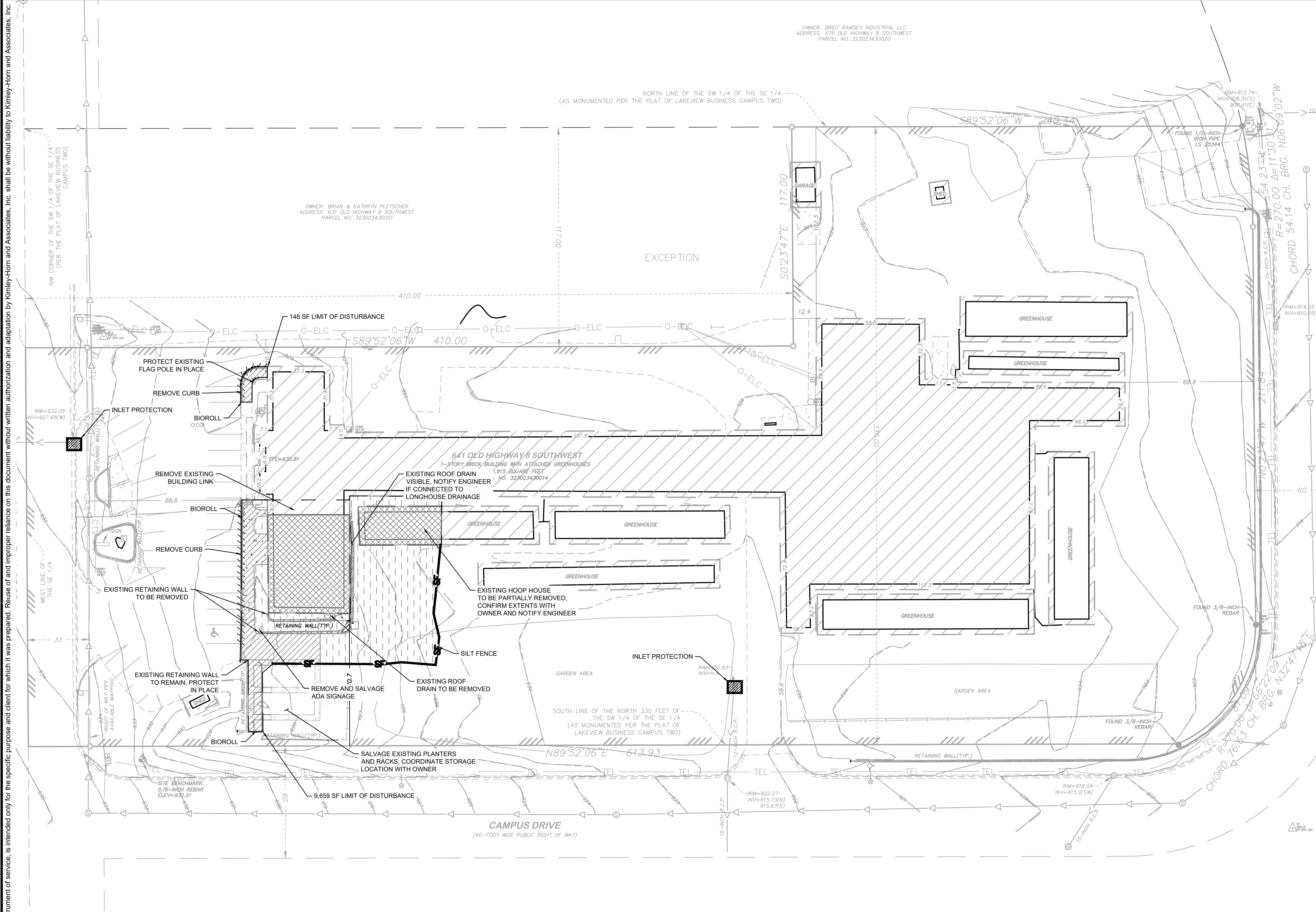


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OWNER: BRETT RAMSEY INDUSTRIAL, LLC  
ADDRESS: 575 OLD HIGHWAY 8, SOUTHWEST  
PARCEL NO.: 323023430020

OWNER: BRIAN & KATHRYN PLETSCHER  
ADDRESS: 631 OLD HIGHWAY 8, SOUTHWEST  
PARCEL NO.: 323023430001

OWNER: BRETT RAMSEY INDUSTRIAL, LLC  
ADDRESS: 575 OLD HIGHWAY 8, SOUTHWEST  
PARCEL NO.: 323023430020



### EROSION CONTROL PLAN NOTES

- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- REMOVE ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

### SEQUENCE OF CONSTRUCTION:

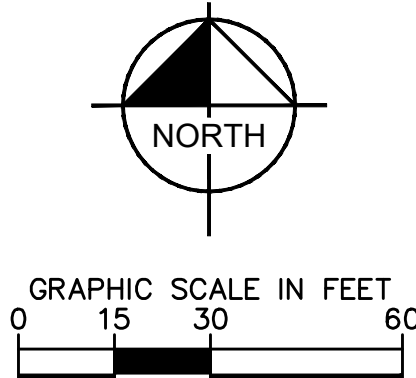
UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:

- INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
- PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF NEW BRIGHTON GRADING PERMIT.



Know what's below.  
Call before you dig.



**TOTAL LAND  
DISTURBED:  
9807 SF**

### DEMOLITION PLAN NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH NEW BRIGHTON, RAMSEY COUNTY AND MNDOT.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF NEW BRIGHTON DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
- ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
- IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAINILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

### LEGEND

	PROPERTY LINE
	REMOVE BITUMINOUS SURFACE
	REMOVE CONCRETE SURFACE
	REMOVE BUILDING
	CLEARING & GRUBBING
	FULL DEPTH SAWCUT
	REMOVE TREE
	REMOVE CONCRETE CURB & GUTTER
	REMOVE UTILITY LINES
	FILL & ABANDON UTILITY LINES
	LIMITS OF CONSTRUCTION
	EXISTING OVERHEAD POWER LINE
	EXISTING CHAINLINK FENCE
	EXISTING J-BARRIER
	EXISTING RETAINING WALL
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING GAS MAIN
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING CONTOUR
	EXISTING CURB & GUTTER
	EXISTING SIGN
	EXISTING FLARED END SECTION
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING GAS METER
	EXISTING POST INDICATOR VALVE
	EXISTING WELL
	EXISTING AUTOMATIC SPRINKLER
	EXISTING ROOF DRAIN
	EXISTING GATE VALVE
	EXISTING HYDRANT
	EXISTING METAL COVER
	EXISTING ELECTRICAL METER
	EXISTING AIR CONDITIONER
	EXISTING TELEPHONE MANHOLE
	EXISTING CABLE BOX
	EXISTING GUY WIRE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING TREE LINE

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

GREENHOUSE  
ADDITION  
PREPARED FOR  
PLETSCHERS  
GREENHOUSE

DEMO & EROSION  
CONTROL PLAN

KHA PROJECT  
160499000  
DATE  
08/16/2022  
SCALE  
AS SHOWN  
DESIGNED BY  
ESB  
DRAWN BY  
ESB  
CHECKED BY  
BMW

**Kimley»Horn**

2022 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-454-1197  
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY
1	SITE PLAN REVIEW	08/16/2022	ESB

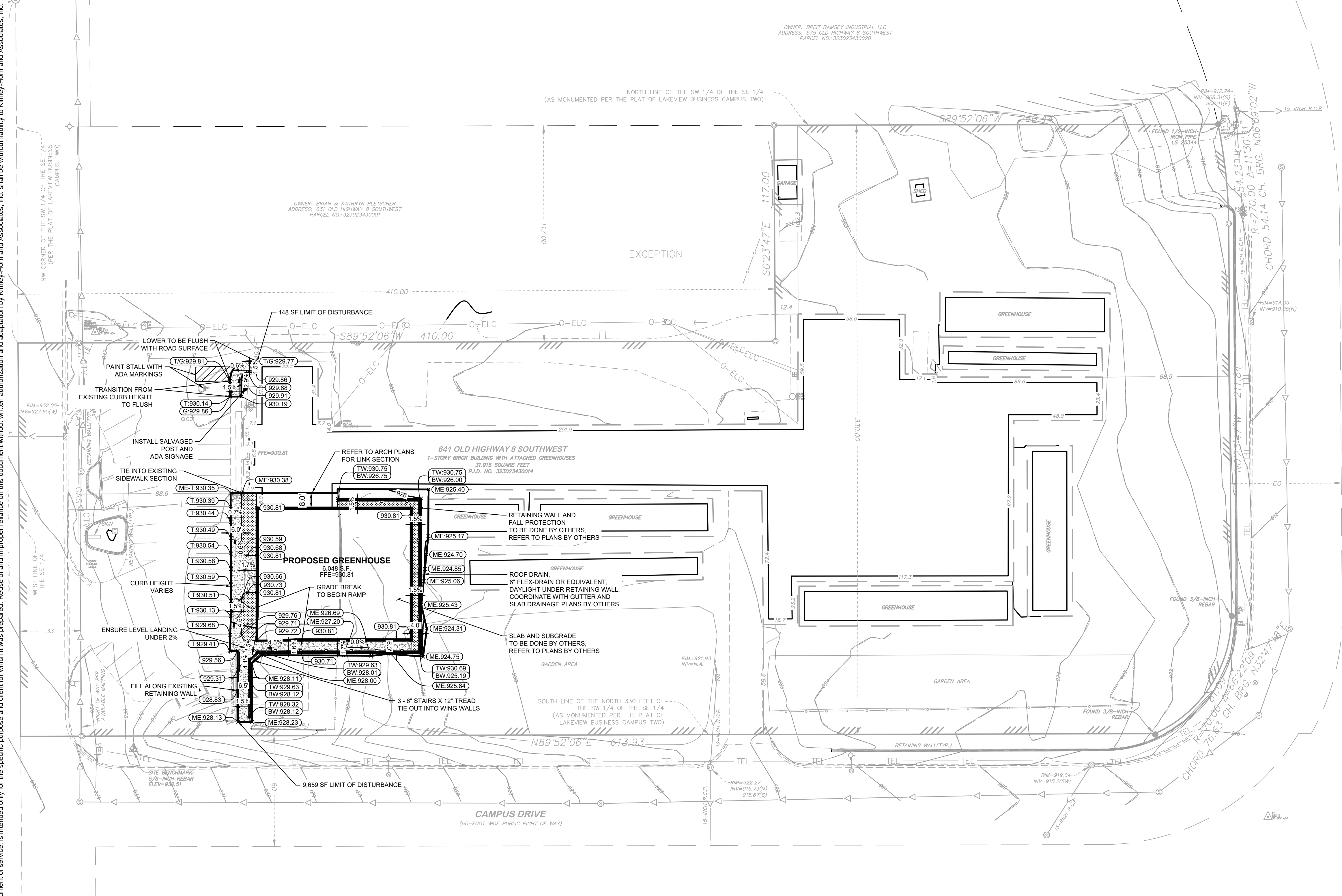
SHEET NUMBER  
**C200**



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ADDRESS: 575 OLD HIGHWAY 8, SOUTHWEST  
PARCEL NO.: 323023430020

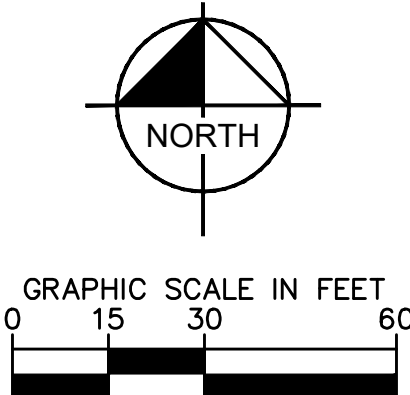
OWNER: BRIAN & KATHRYN PLETSCHER  
ADDRESS: 631 OLD HIGHWAY 8, SOUTHWEST  
PARCEL NO.: 323023430001



TOTAL LAND  
DISTURBED:  
9807 SF



Know what's below.  
Call before you dig.



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RIDGE LINE
- PROPOSED SWALE
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW ELEVATION
- PROPOSED TOP/BOTTOM OF WALL ELEVATION
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE
- PROPOSED CONCRETE SIDEWALK
- RETAINING WALL
- PROPOSED CURB AND GUTTER


SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY «SURVEYOR», DATED XXXXXXXX.  
  
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.

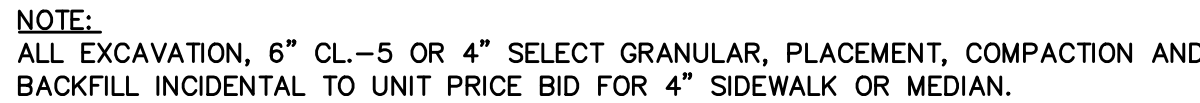
GRADING PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NEW BRIGHTON, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXXX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

GREENHOUSE ADDITION PREPARED FOR PLETSCHERS GREENHOUSE NEW BRIGHTON MN	SHEET NUMBER C300									
	SITE & GRADING PLAN									
	KHA PROJECT 160499000		DATE 08/16/2022		SCALE AS SHOWN		DESIGNED BY ESB			
							DRAWN BY ESB			
							CHECKED BY BMW			
							DATE: 08/16/2022 LIC. NO. 53113			
							MIN BRIAN W. WURDEMAN			
										
© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1197 WWW.KIMLEY-HORN.COM										
Kimley»Horn										
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, AND CALCULATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.										
Δ SITE PLAN REVIEW										
No. REVISIONS										
DATE										
BY										
08/16/2022 ESB										

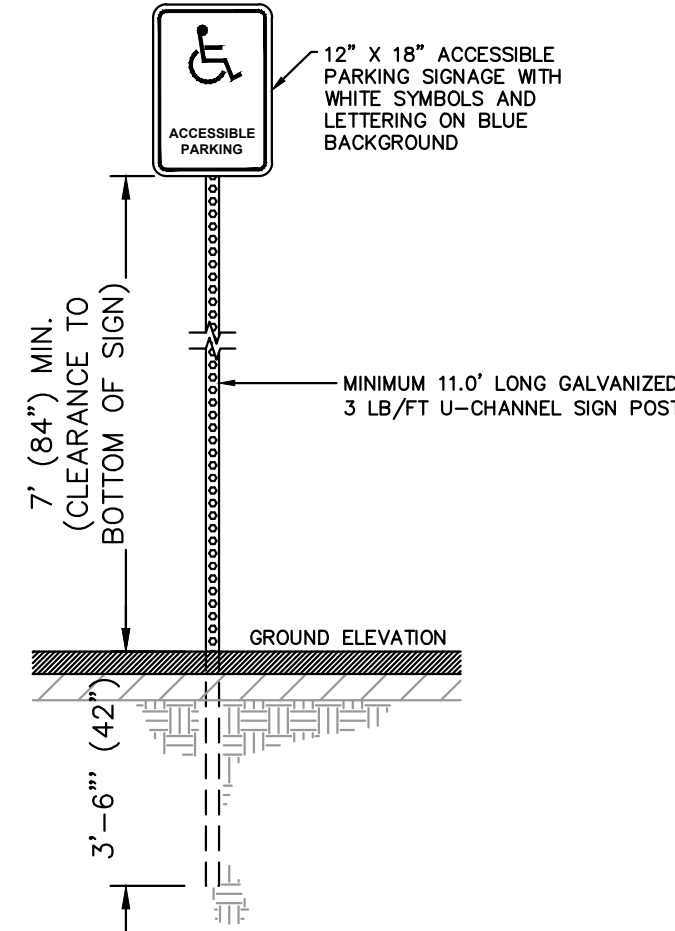




SCALE: NTS



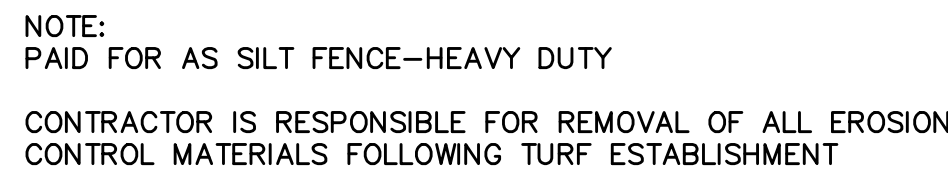
SCALE: NTS



NOTES:

1. ONE REQUIRED WHERE NOTED ON PLANS.
2. SIGNS SHALL BE MOUNTED TO POST WITH GALVANIZED OR CADMIUM PLATED 5/16" DIAMETER STEEL BOLTS, NUTS AND WASHERS.

SCALE: NTS



SCALE: NTS



SCALE: NTS



NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	2%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4356	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL./MIN./SQ. FT.
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4633	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-3832	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
PERMEABILITY	ASTM D-4491	2000 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5, SEC -1

(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)

DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLOW INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSACK\*, WITH A WOVEN PILLOW INSERT



EXISTING CONDITIONS SURVEY FOR:  
PLETSCHER'S GREENHOUSE

LEGAL DESCRIPTION:

Unplatted lands subject to highway and the North 330 feet of Southwest 1/4 of the Southeast 1/4 of Section 32, Township 30, Range 23, except East 532 feet and except North 117 feet of West 410 feet thereof.

Per Warranty Deed Doc. No. 2235583

SUGGESTED LEGAL DESCRIPTION:

All that part of the North 330 feet of Southwest 1/4 of the Southeast 1/4 of Section 32, Township 30 North, Range 23 West, lying northerly and westerly of Campus Drive, as dedicated in the plat of LAKEVIEW BUSINESS CAMPUS TWO.

EXCEPTING THEREFROM

The North 117 feet of the West 410 feet thereof.

Ramsey County, Minnesota

NOTES:

- The orientation of this bearing system is based on the Ramsey County coordinate grid (NAD 83-2011 Adj.).
- The total area of the property described hereon is 167,618 square feet or 3.84798 acres.
- Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify the legal description, or the existence of any easements or encumbrances.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 22103199. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation. List of utilities notified per Gopher State One Call Ticket No. 22103199.

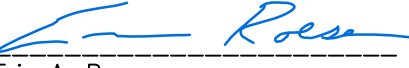
XCEL  
ARVIG  
COMCAST  
CITY OF NEW BRIGHTON  
ROGERS COMMUNICATIONS

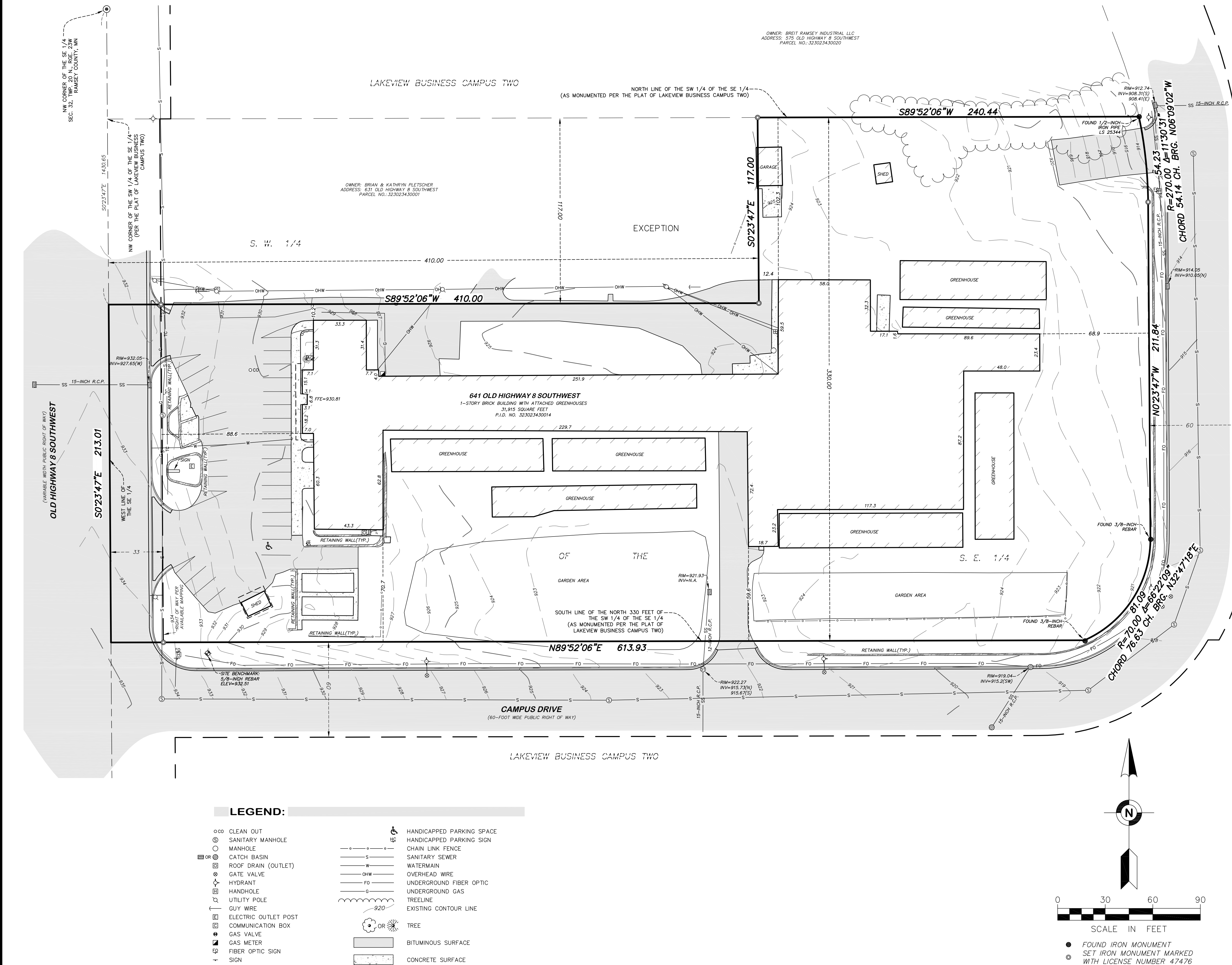
MCI  
MNDOT  
MP NEXTLEVEL LLC  
ZAYO BANDWIDTH  
CENTURYLINK - CTLQL
- BENCHMARK: Ramsey County Benchmark 9065.  
Elevation = 911.63 (NAVD88)  
Site Benchmark= 3/8-Inch rebar at southwest corner of surveyed property.  
Elevation = 932.83 feet. (NAVD88)
- The East 532 feet of the SW 1/4 of the SE 1/4 lies offsite and easterly of the surveyed property. Due to drawing scale, this exception is not depicted hereon.

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: April 20, 2022.  
Date of signature: May 4, 2022.

  
Eric A. Roeser  
eroeser@efnsurvey.com  
Minnesota License No. 47476



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS
		SK	NO. DATE DESCRIPTION
		DRAWN BY:	
		DAV	
DRAWING NAME:		CHECKED BY:	
40542.dwg		EAR	
JOB NO. 40542			
FILE NO. 4029			

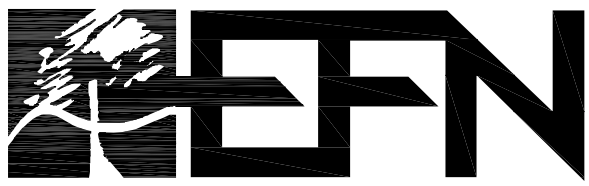
EXISTING CONDITIONS  
SURVEY

SURVEY FOR:

Pletscher's Greenhouse

PROPERTY ADDRESS:

641 Old Highway 8 Southwest  
New Brighton, Minnesota 55112

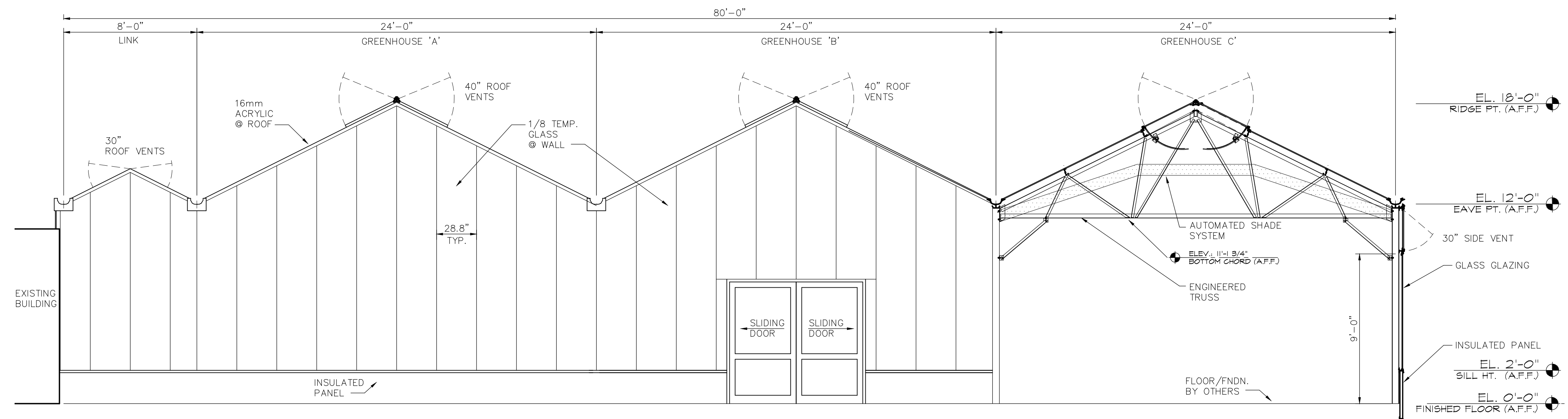
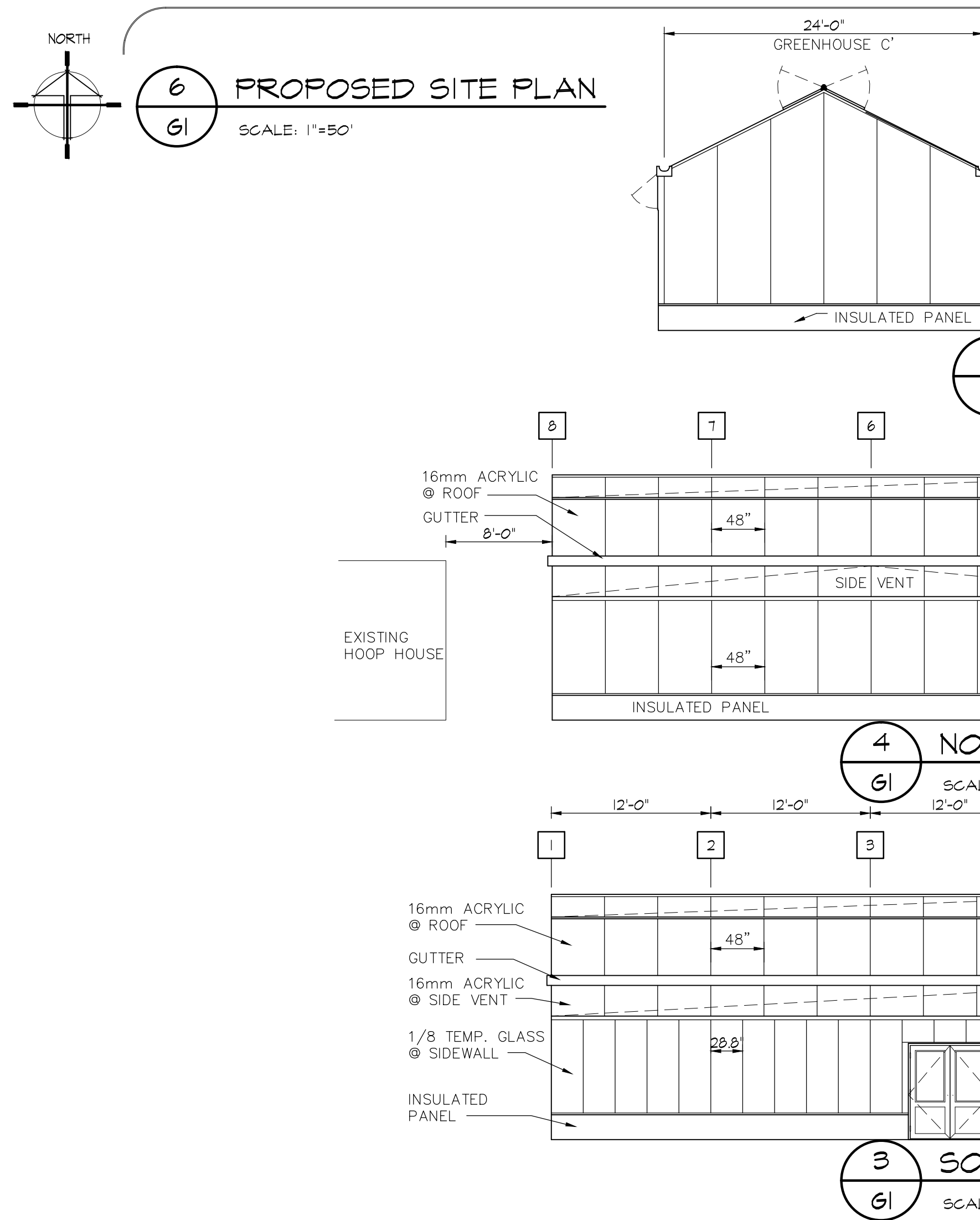
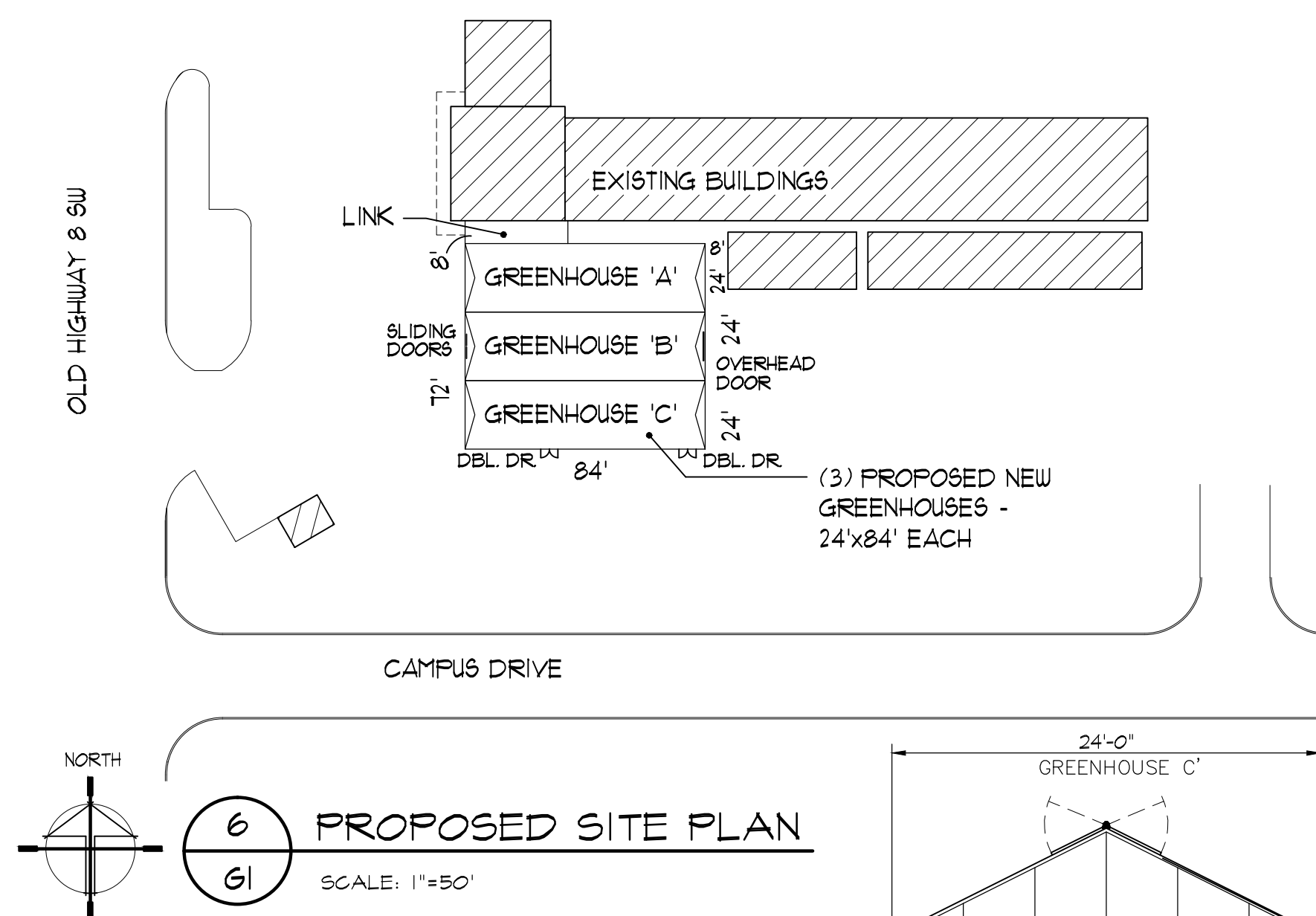


Egan, Field & Nowak, Inc.  
land surveyors since 1872

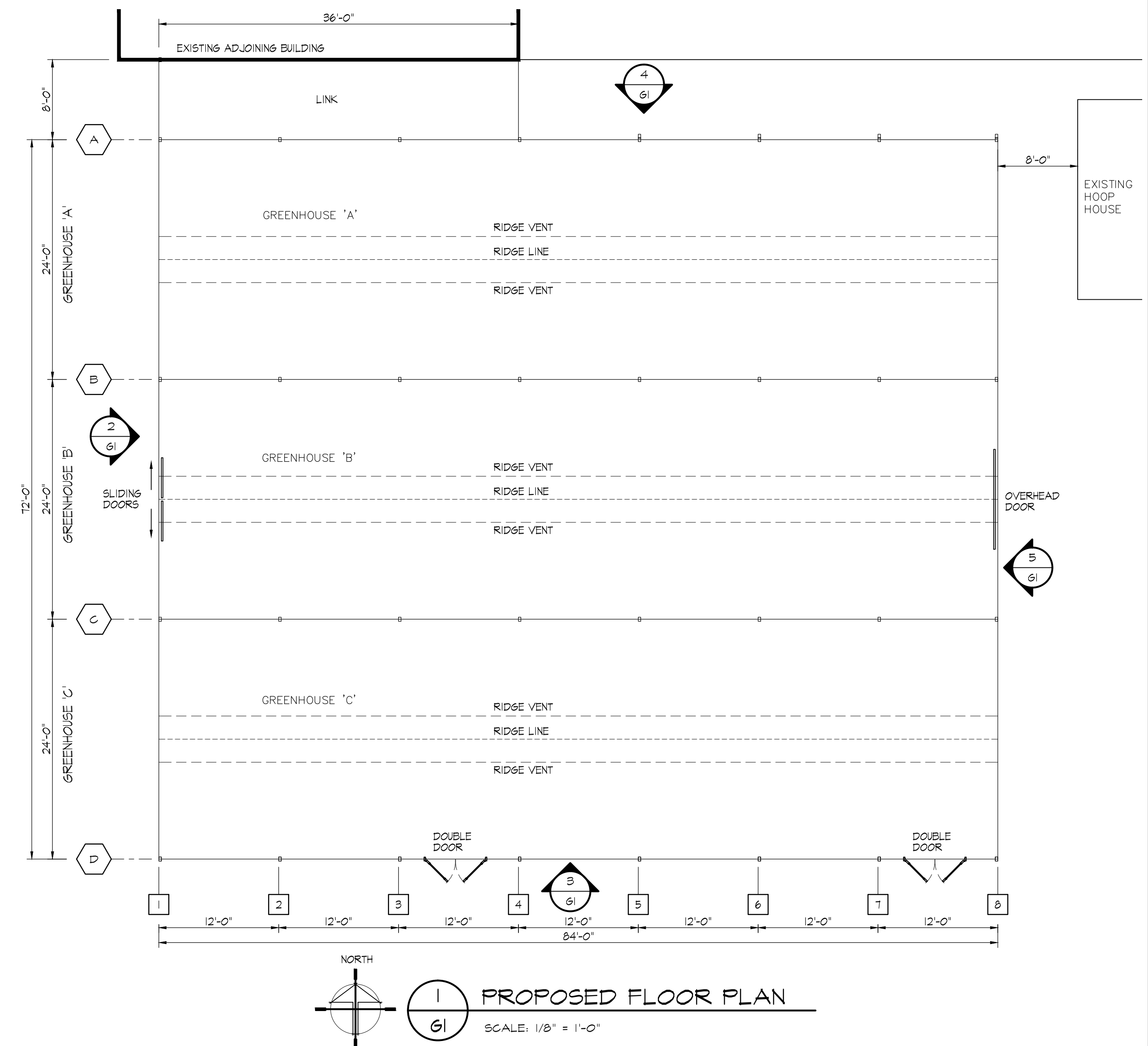
475 Old Highway 8 NW, Suite 200  
New Brighton, Minnesota 55112  
PHONE: (612) 466-3300  
WWW.EFNSURVEY.COM


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2 WEST ELEVATION / SECTION  
G| SCALE: 1/4" = 1'-0"





**Albert J. Lauer Inc.**  
 5020 21<sup>st</sup> Street West  
 Farmington, MN 55024  
 (651) 483-7171 Fax  
 (651) 483-1601  
[www.albertjlaureinc.com](http://www.albertjlaureinc.com)

**PROJECT:**  
 Proposed Plan  
 Pletschers Greenhouse  
 641 Old Hwy. 8 SW  
 New Brighton, MN 55112

**ISSUE DATE:**  
 Preliminary 02-02-22

**REVISIONS:**

**DR. BY:**  
 RDQ

**CH. BY:**  
 BC

**SHEET TITLE:**  
 PROPOSED  
 SITE, FLOOR PLAN  
 AND ELEVATIONS

**SHEET NO.:**  
**G1**